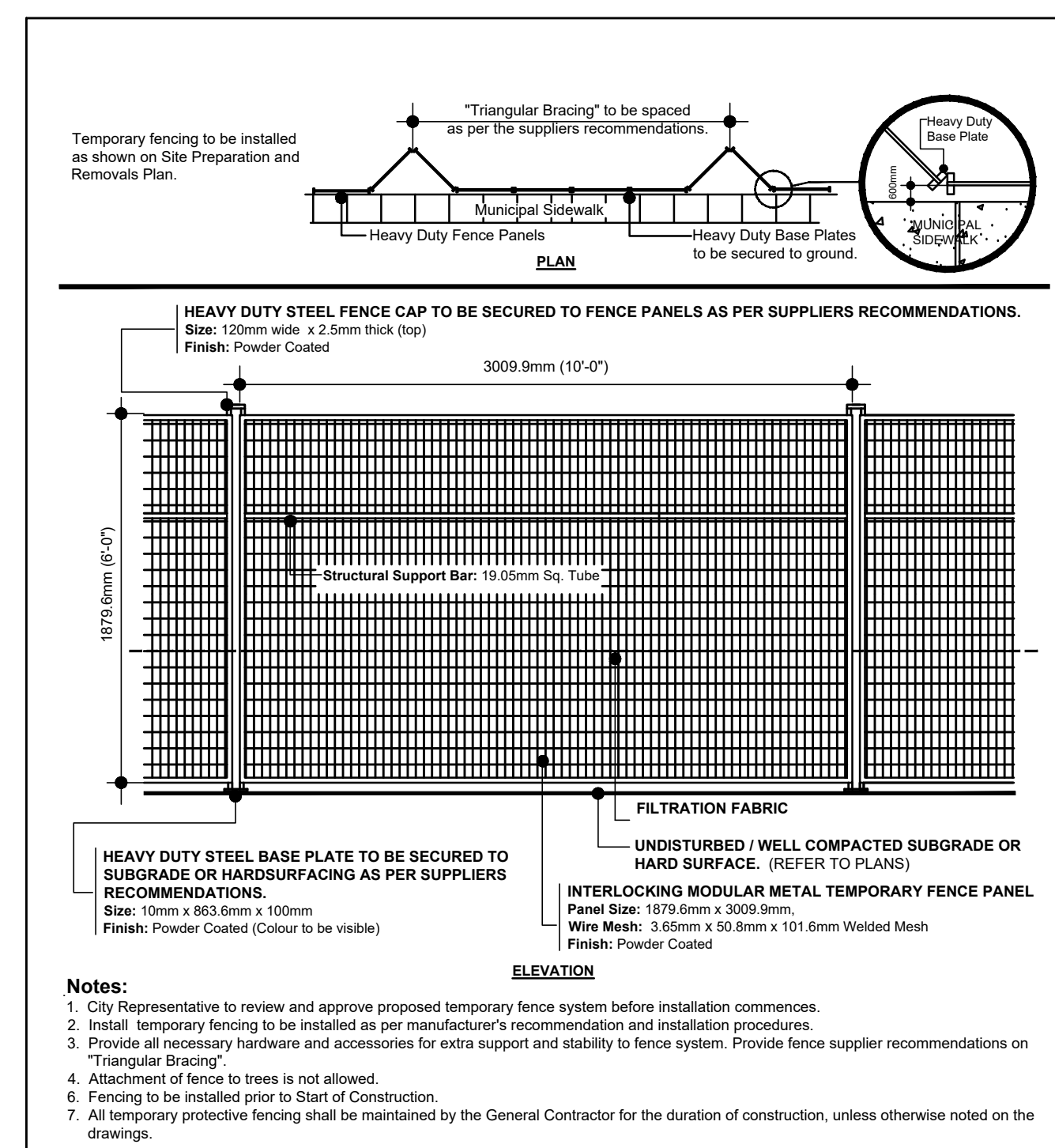




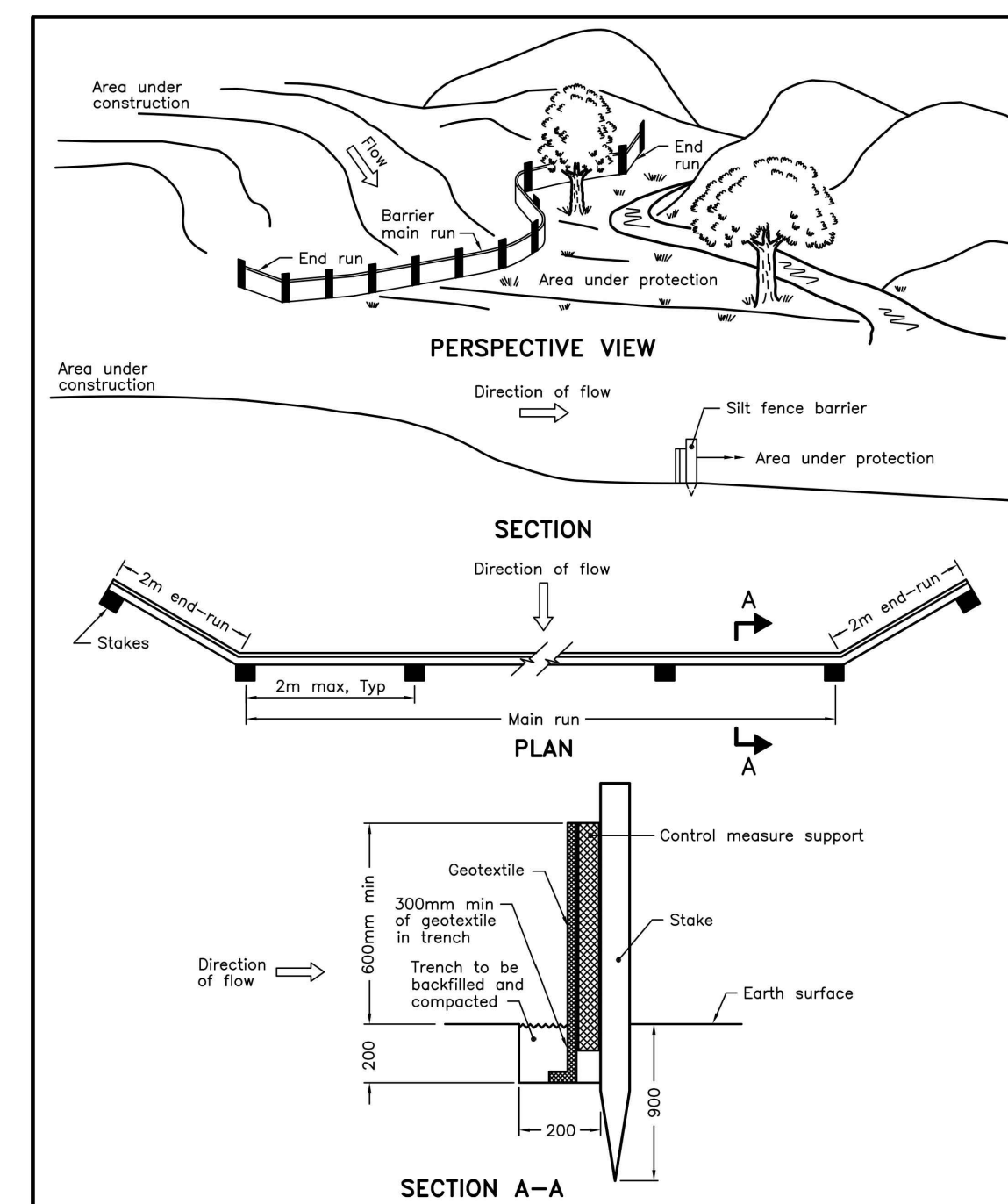
- GENERAL NOTES**
- CONTRACTORS ARE REQUIRED TO VISIT THE PROJECT SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS (INCLUDING REVIEW OF REQUIREMENTS FOR CONSTRUCTION ACCESS AND STAGING AREA) PRIOR TO SUBMISSION OF THEIR BIDS. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSE INCURRED THROUGH FAILURE TO VISIT THE SITE FOR A COMPLETE EXAMINATION.
  - IT IS CONTRACTOR'S RESPONSIBILITY TO REVIEW AND CONFIRM CONSTRUCTION ACCESS AND STAGING AREAS PRIOR TO SUBMISSION OF THEIR BIDS AND NO CLAIM FOR EXTRA RELATED TO ALTERNATE CONSTRUCTION ACCESS AND STAGING AREAS (INCL. ASSOCIATED RESTORATIONS) WILL BE ACCEPTED AT TIME OF CONSTRUCTION.
  - FINAL LOCATION OF CONSTRUCTION ACCESS AND STAGING AREAS SHALL BE APPROVED BY THE OWNER PRIOR TO START OF CONSTRUCTION.
  - ALL EXISTING FEATURES (ABOVEGROUND AND UNDERGROUND) ARE TO REMAIN AND BE PROTECTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
  - ALL EXISTING FEATURES REQUIRED TO BE DISTURBED TO ALLOW FOR NEW CONSTRUCTION MUST BE REINSTATED TO ORIGINAL CONDITION OR BETTER AT NO COST TO OWNER. OWNER APPROVAL FOR DISTURBANCE AND METHOD OF REINSTATEMENT IS REQUIRED PRIOR TO START OF CONSTRUCTION.
  - CONTRACTORS SHALL READ ALL CONTRACT DOCUMENTS (DRAWINGS, NOTES, REPORTS, SPECIFICATIONS) TOGETHER. CONTRACTORS SHALL BRING ANY DISCREPANCY TO THE CONSULTANT'S ATTENTION FOR CLARIFICATION PRIOR TO BID CLOSING. FAILING TO DO SO, CONTRACTORS WILL BE ASSUMED TO HAVE INCLUDED THE MATERIAL, METHOD, SCENARIO OR SPECIFICATION WITH THE HIGHEST COST IMPLICATION IN THE TENDER PRICE.
  - CONTRACTORS ARE REQUIRED TO THOROUGHLY REVIEW EXISTING SITE CONDITIONS, CONTRACT DRAWINGS AND SPECIFICATIONS TO CONFIRM CONSTRUCTION REQUIREMENTS PRIOR TO SUBMISSION OF THEIR BIDS. IF CONTRACTORS REQUIRE ADDITIONAL INFORMATION OR FURTHER CLARIFICATION FOR ACCURATE PRICING, THEY SHALL ADVISE THE CITY THROUGH THE PROCESSES OUTLINED IN THE TENDER DOCUMENTS PRIOR TO BID CLOSING TO OBTAIN SUCH INFORMATION. ASSUMPTIONS MADE BY CONTRACTORS AT THE TIME OF TENDER WILL NOT BE ACCEPTED AS THE BASIS FOR A CLAIM FOR EXTRA AT TIME OF CONSTRUCTION.
  - LOCATION OF UNDERGROUND UTILITIES MUST BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO RESTORE ALL DISTURBED AREAS TO ORIGINAL CONDITION (OR BETTER) TO THE FULL SATISFACTION OF OWNER AND AT NO EXTRA COST TO PROJECT.

- PROTECTION NOTES**
- THE CONTRACTOR SHALL ENSURE THAT ALL ADJACENT PRIVATE AND PUBLIC PROPERTIES ARE PROTECTED FROM DAMAGE RESULTING FROM THIS WORK.
  - INSTALL PROTECTIVE FENCES, BARRICADES, SIGNS AND OTHER SUBSTANTIAL CONSTRUCTIONS AS REQUIRED TO PREVENT PHYSICAL PROTECTION.
  - ALL PROTECTIVE FENCES, BARRICADES, SIGNS AND OTHER SUBSTANTIAL CONSTRUCTIONS ARE NOT TO ENCRUCH ON ANY PATHS OF TRAVEL.
  - ERECT SHORING, BRACING AND OTHER STRUCTURES AS REQUIRED TO PREVENT COLLAPSE, SETTLEMENT AND MOVEMENT OF ANY PROPERTY.
  - POST DANGER SIGNS IN CONSPICUOUS LOCATIONS TO WARN PERSONS THAT DEMOLITION AND CONSTRUCTION IS IN PROGRESS.
  - LOCATE AND PROTECT EXISTING SERVICES FROM DAMAGE. IF NECESSARY, RELOCATE ACTIVE SERVICES TO ENSURE THAT THEY FUNCTION CONTINUOUSLY, IN SAFETY AND WITHOUT RISK OF DAMAGE.
  - CAP AND REMOVE UNUSED SERVICES ENCOUNTERED DURING DEMOLITION. PROCEED WITH THIS WORK ONLY AFTER RECEIVING APPROVAL FROM THE OWNER AND JURISDICTIONAL AUTHORITIES.
  - REMOVE ALL PROTECTIONS AND BARRICADES ONLY WHEN DIRECTED TO DO SO BY THE CONSULTANT.

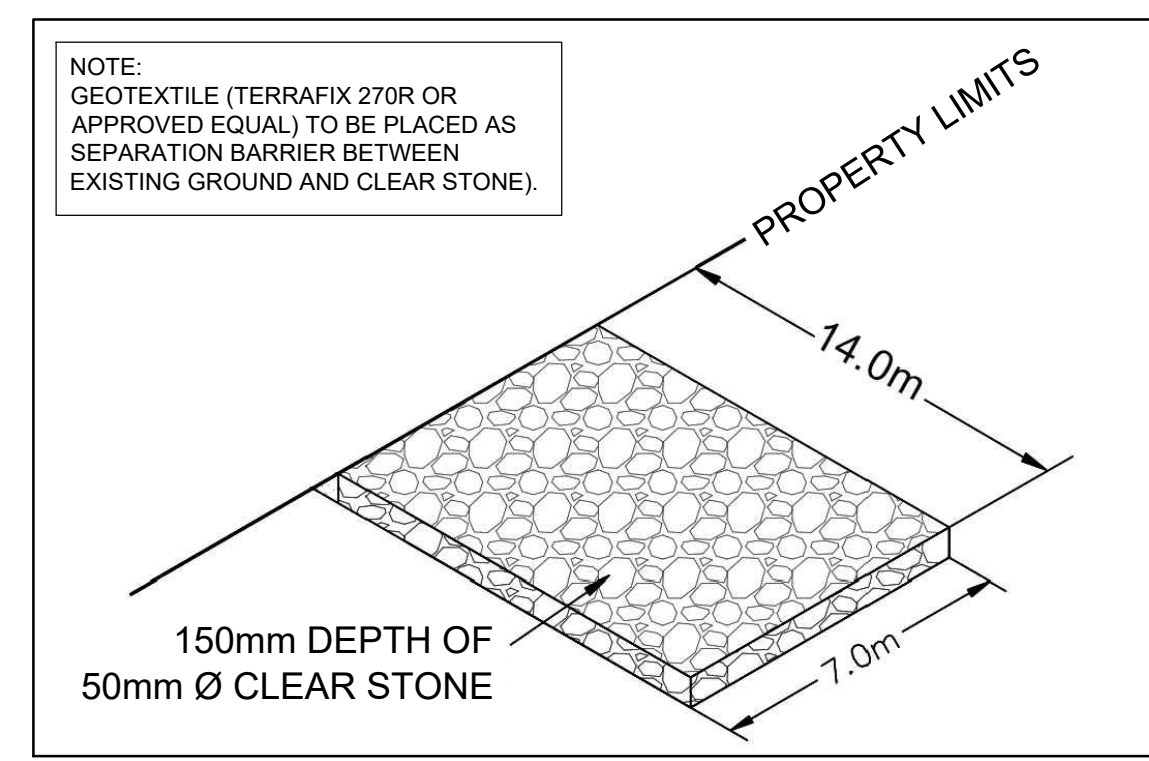
- DEMOLITION NOTES**
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE SITE IN THE CONDITION IT IS IN AT THE TIME OF WRITTEN NOTIFICATION OF THE AWARD OF THE CONTRACT.
  - REMOVE FLAMMABLE, CONTAMINATED MATERIALS AND REFUSE BEFORE DEMOLITION COMMENCES.
  - WATER DOWN DEBRIS AS FREQUENTLY AS REQUIRED TO PREVENT THE SPREAD OF DUST. PROVIDE WATER CONNECTIONS AND LINES FOR THIS PURPOSE.
  - EXCAVATE AS REQUIRED TO ACCOMMODATE ALL GRADING TO THE ELEVATIONS AS SHOWN ON THE DRAWINGS.
  - REMOVAL OF ALL EXISTING FENCING, IF APPLICABLE, TO CONSIST DISMANTLING AND REMOVAL OF THE FENCE, INCLUDING ALL POSTS, RAILS, FENCE FABRIC, FOOTINGS, GATES, COMPONENTS, AND FITTINGS FORMING PART OF THE FENCE DESIGNATED FOR REMOVAL.
  - REMOVAL OF ALL EXISTING SITE FURNISHINGS, IF APPLICABLE, TO INCLUDE REMOVAL OF THE STRUCTURE, PIPES, POSTS, FOOTINGS, COMPONENTS, AND FITTINGS FORMING PART OF THE ITEM DESIGNATED FOR REMOVAL.
  - REMOVE COMPLETELY ALL FOUNDATION AND PIPES.
  - ALL VOIDS CAUSED BY THE REMOVAL OF STRUCTURES, FOUNDATIONS AND PIPES SHALL BE BACKFILLED WITH APPROVED BACKFILL MATERIAL AND COMPACTED AS SPECIFIED.
  - ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE UNLESS CLEARLY SPECIFIED OTHERWISE.



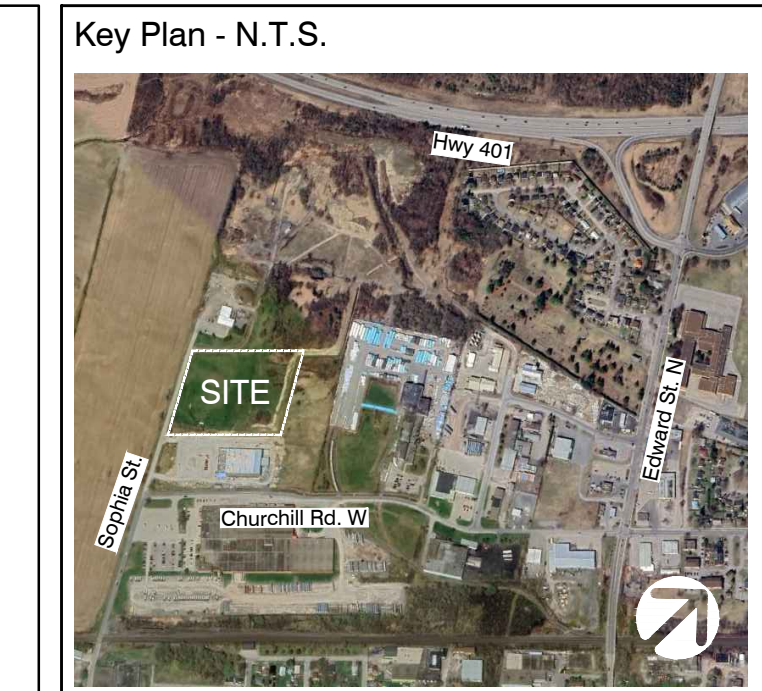
1. 1.8m HEIGHT CONSTRUCTION FENCING N.T.S.



2. HEAVY-DUTY SILT FENCE BARRIER OPSD 219.130 N.T.S.



3. MUD MAT DETAIL N.T.S.



- Legend**
- PROPERTY LINE
  - APPROX. LIMIT OF WORK (INSTALL 1.8M HT. STEEL CONSTRUCTION FENCE - MODULOC OR APPROVED EQUAL)
  - EXTENT OF DISTURBANCE
  - EXISTING SPOT ELEVATION (MATCHED)
  - EXISTING SLOPE TO REMAIN
  - EXISTING DRAINAGE SWALE (TOP-OF-BANK) TO REMAIN
  - EXISTING DRAINAGE CULVERT TO REMAIN AND BE PROTECTED
  - EXISTING RIP-RAP TO REMAIN AND BE PROTECTED
  - EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED
  - EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED
  - EXISTING OVERHEAD WIRE TO BE PROTECTED
  - PROPOSED HEAVY-DUTY SILT FENCE BARRIER
  - EXISTING VEGETATION TO BE REMOVED
  - EXISTING CHAIN LINK FENCE TO BE REMOVED
  - EXISTING SPORTS FIELD LIGHT POLE TO BE REMOVED (X6)

**GEOTECHNICAL INFORMATION:**  
REFER TO GEOTECHNICAL REPORTS AS PREPARED BY LASCELLES ENGINEERING FOR ADDITIONAL INFORMATION RELATED TO SUBSURFACE SOIL AND GROUNDWATER CONDITIONS.

**GENERAL MATERIALS STOCKPILING NOTE:**  
CONTRACTOR TO SUPPLY, INSTALL, MAINTAIN, AND REMOVE HEAVY-DUTY SILT FENCE BARRIER AROUND ALL MATERIALS STOCKPILES.

No	Date	Revisions	By
1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ

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Ontario Provincial Standard Drawing  
 HEAVY-DUTY SILT FENCE BARRIER  
 OPSD 219.130  
 Nov 2006 Rev 1

Client:  
**PRESCOTT**  
 THE FORT TOWN EST 1784

Consultant:  
**the mbtw group**  
 Landscape Architect | Urban Designer | Parks Planner | Recreation | Golf Course | Urban Design  
 1000 Lakeshore Blvd. W. Suite 1000 | Toronto, Ontario, Canada M6K 3G7  
 Tel: (416) 448-7707 | Fax: (416) 448-1000 | www.mbtw.com

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Project Name: **PRESCOTT RECREATION COMPLEX**

Landowner: **Town of Prescott**

Sheet Title: **SITE PREPARATION PLAN**

Designed: JJ	Drawn: OL	Scale: 1:500	Drawn No.: OL
Date of Drawing: JULY 2024	Job No.: TOP002	Drawing No.: <b>EX-1</b>	

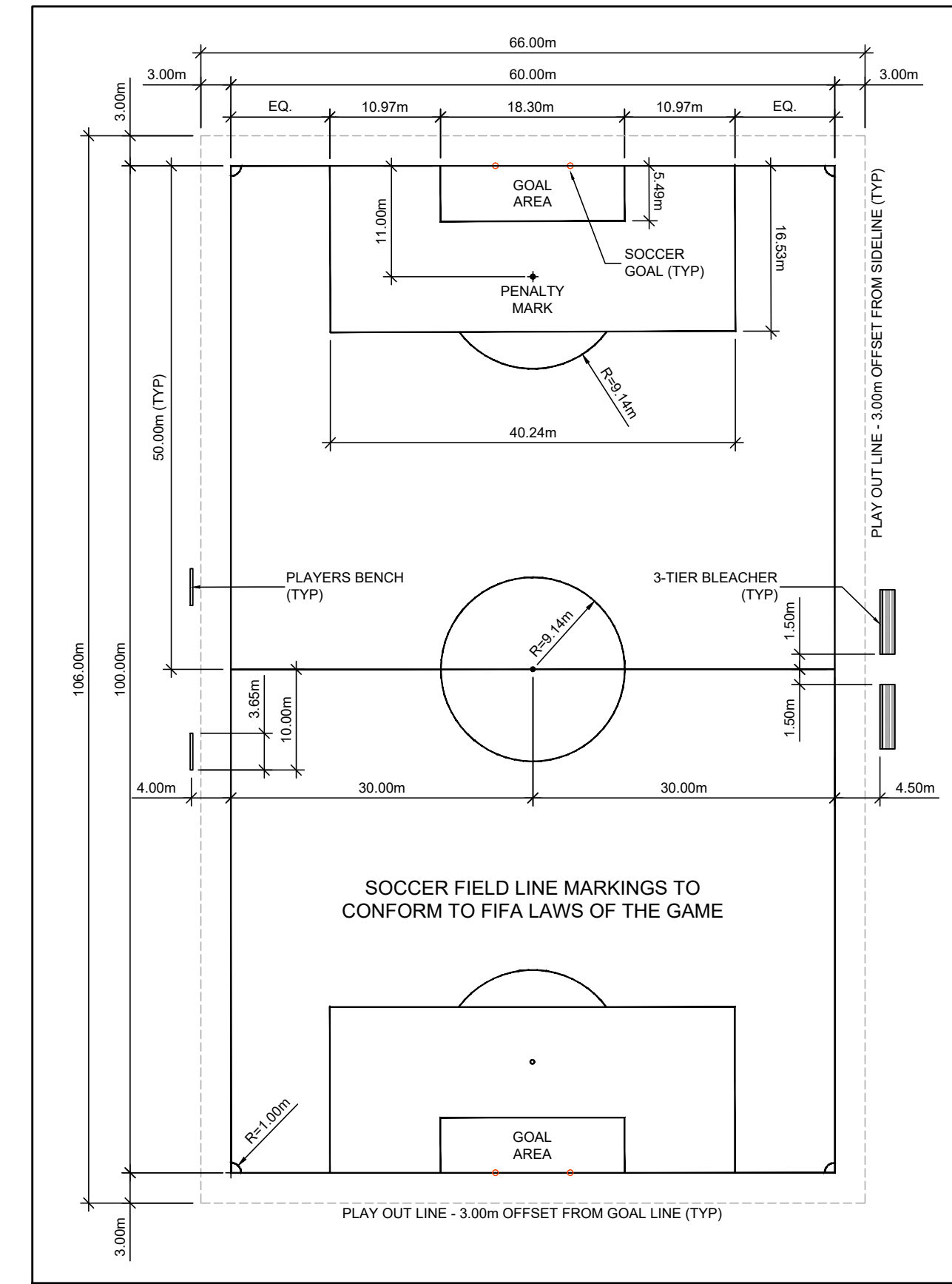


CIVIL ENGINEERING INFORMATION SHOWN FOR REFERENCE ONLY - REFER TO ENGINEERING DRAWINGS FOR SITE SERVICING AND STORM WATER MANAGEMENT DETAILED DESIGN INFORMATION.

ELECTRICAL ENGINEERING INFORMATION SHOWN FOR REFERENCE ONLY - REFER TO ENGINEERING DRAWINGS FOR ELECTRICAL SERVICING AND SYSTEMS DETAILED DESIGN INFORMATION.

**GENERAL LAYOUT NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE LAYOUT AND STAKING OF PROPOSED SITE FEATURES AND AMENITIES. CONTRACTOR TO OBTAIN LAYOUT APPROVAL FROM THE TOWN REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR WILL BE PROVIDED WITH DIGITAL FILES (CAD / PDF FORMATS) FOR COORDINATION AND USE BY THEIR SURVEYOR.



1 SOCCER FIELD - LAYOUT PLAN

N.T.S.

**PLAYGROUND EQUIPMENT NOTES:**

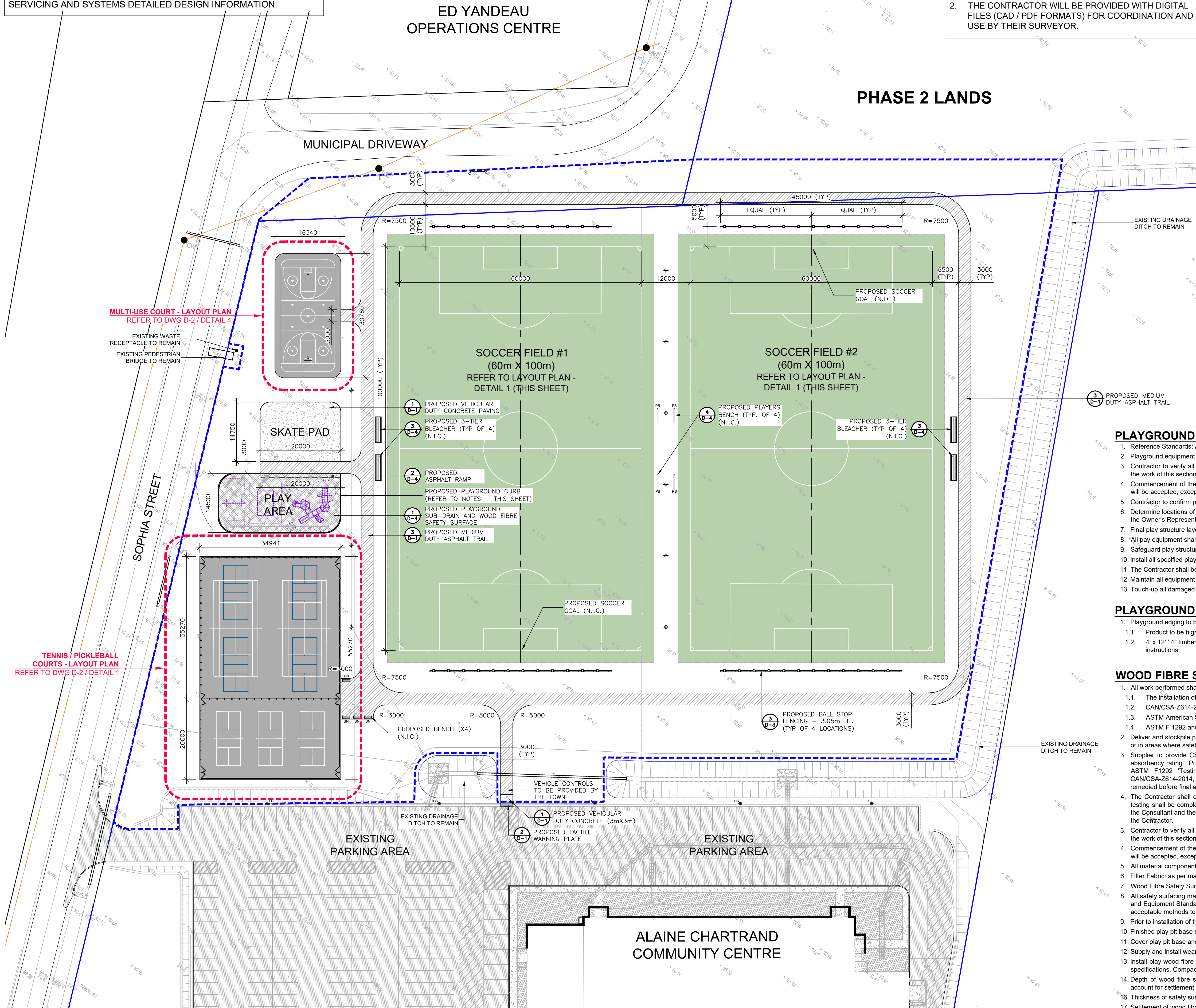
1. Reference Standards: All work shall conform to CAN/CSA-Z614-14 - Children's Playspaces and Equipment, or current version.
2. Playground equipment to be supplied by the Town.
3. Contractor to verify all site conditions which may affect the performance of this section and report in writing all conditions which may adversely affect the work of this section.
4. Commencement of the work implies acceptance of all surfaces and site conditions. No claims for damages or extras after commencement of the work will be accepted, except where such damages or extras are due to conditions which could not be determined prior to construction.
5. Contractor to confirm play equipment dimensions, protective zones, and non-encroachment zones prior to installation.
6. Determine locations of fall protection surface and coordinate with playground manufacturer/installer for verification of non-encroachment zones. Notify the Owner's Representative of any conflicts prior to proceeding with work.
7. Final play structure layout to be finalized in the field.
8. All play equipment shall be installed as per Manufacturer's specifications.
9. Safeguard play structures from damage during installation.
10. Install all specified play structures square, straight, plumb and true, complete as detailed and as per manufacturer's instructions.
11. The Contractor shall be responsible for obtaining CSA certifications. The cost of certification shall be borne by the Contractor.
12. Maintain all equipment from the time of installation to the time of issuance of Substantial Performance.
13. Touch-up all damaged finishes to the approval of the Owner's Representative.

**PLAYGROUND CURB NOTES:**

1. Playground edging to be TuffTimbers Edging by Landscape structures or approved equal.
  - 1.1. Product to be high-density polyethylene with UV stabilizer to prevent fading / weathering.
  - 1.2. 4" x 12" x 4" timbers secured with 30" long galvanized steel stakes to hold timbers in place - installation as per manufacturers recommendations / instructions.

**WOOD FIBRE SAFETY SURFACING NOTES:**

1. All work performed shall comply with the following standards where applicable:
  - 1.1. The installation of the Safety Surfacing specified herein and CSA Canadian Standards Association;
  - 1.2. CAN/CSA-Z614-2014 Children's Playspaces and Equipment Standards of Canada;
  - 1.3. ASTM American Society for Testing and Materials;
  - 1.4. ASTM F 1292 and CEN EN 1177, Testing Methods for Evaluating the Shock Absorbing Properties of Protective Surfacing
2. Deliver and stockpile playground safety surfacing on site in a location which will not hamper other construction activities. Do not stockpile in low points or in areas where safety surfacing will become contaminated.
3. Supplier to provide CSA / IPEMA compliance before installation. Wood fibre safety surfacing shall be tested for material properties and energy absorbency rating. Prior to final acceptance, and where applicable, the surfacing shall be tested by a third-party testing agency in accordance with ASTM F1292 'Testing Method for Evaluating the Shock Absorbing Properties of Protective Surfacing' and in accordance with the CAN/CSA-Z614-2014, Children's Playspaces and Equipment Standards of Canada. Any work not found to be acceptable at time of testing shall be remedied before final approval can be considered.
4. The Contractor shall engage a testing agency to perform material analysis tests of the structural properties of the wood fibre safety surfacing. All testing shall be completed by a qualified Professional Engineer (P.Eng.) specializing in Geo-Environmental Services. Contractor to submit results to the Consultant and the Owner's Representative for approval prior to installation of the wood fibre safety surfacing. Costs of this testing shall be paid by the Contractor.
5. Contractor to verify all site conditions which may affect the performance of this section and report in writing all conditions which may adversely affect the work of this section.
6. Commencement of the work implies acceptance of all surfaces and site conditions. No claims for damages or extras after commencement of the work will be accepted, except where such damages or extras are due to conditions which could not be determined prior to construction.
7. Filter Fabric: as per manufacturer's specifications, Terrafix 270 R or approved equal.
8. Wood Fibre Safety Surfacing: As supplied by Zeager Recreational Surfacing, System 1, Contact Number 1-800-346-8524 or Approved Equal.
9. All safety surfacing material in the protective surfacing zone (play pit) shall meet the requirements of the CAN/CSA-Z614-2014, Children's Playspaces and Equipment Standards of Canada when tested for the defined fall height. The test methods specified in ASTM F 1292 and CEN EN 1177 are the acceptable methods to test the protective safety surfacing.
10. Prior to installation of the safety surfacing ensure that the base of play pit is self draining and free of debris.
11. Finished play pit base surface to be within plus or minus 10 mm of established grade and cross section but not uniformly high or low.
12. Cover play pit base and drainage trenches with filter fabric with minimum 250mm overlap.
13. Supply and install wear mats under all swings and slides as per drawings and Manufacturer's specifications.
14. Install play wood fibre safety surfacing to the minimum required settled depth and in 150mm lifts / layers and in accordance with the manufacturer's specifications. Compact as per manufacturer's specifications.
15. Depth of wood fibre safety surfacing material varies according to maximum fall height of play equipment. Ensure enough material is ordered to account for settlement at required depth.
16. Thickness of safety surfacing shall be as per details (at a minimum) or play equipment requirements for fall safety, depending on whatever is greater.
17. Settlement of wood fibre surfacing below minimum required settled depth over the warranty period will be the Contractor's responsibility to correct.



**Key Plan - N.T.S.**



**Legend**

- PROPERTY LINE
- APPROX. LIMIT OF WORK (INSTALL 1.8M HT. STEEL CONSTRUCTION FENCE - MODULOC OR APPROVED EQUAL)
- EXTENT OF DISTURBANCE
- EXISTING SLOPE TO REMAIN
- EXISTING DRAINAGE SWALE (TOP-OF-BANK) TO REMAIN
- EXISTING DRAINAGE CULVERT TO REMAIN AND BE PROTECTED
- EXISTING RIP-RAP TO REMAIN AND BE PROTECTED
- EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED
- EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED
- EXISTING OVERHEAD WIRE TO BE PROTECTED
- PROPOSED MEDIUM DUTY ASPHALT TRAIL
- PROPOSED SPORTS COURT ASPHALT PAVING
- PROPOSED CONCRETE PAVING
- PROPOSED WOOD MULCH PLAY SURFACE
- PROPOSED BENCH
- PROPOSED BIKE RACK
- PROPOSED PLAYER'S BENCH
- PROPOSED 3-TIER SPECTATOR SEATING
- PROPOSED SOCCER FIELD BALL STOP FENCING - 3.05m HT. GALVANIZED CHAIN LINK
- PROPOSED TENNIS COURT FENCING - 3.05m HT. GALVANIZED CHAIN LINK
- PROPOSED PICKLEBALL COURT FENCING - 1.5m HT. GALVANIZED CHAIN LINK

No	Date	Revisions	By
1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ

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Client: **PRESCOTT THE FORT TOWN** EST 1784

Consultant: **the mbtw group**  
200 Woodbine Ave., Unit 1A1 Toronto, Ontario, Canada M4L 1B7  
Tel: (416) 448-7797 | Fax: (416) 448-1023 | www.mbtw.com

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Project Name: **PRESCOTT RECREATION COMPLEX**  
Landowner: **Town of Prescott**  
Sheet Title: **LAYOUT PLAN**

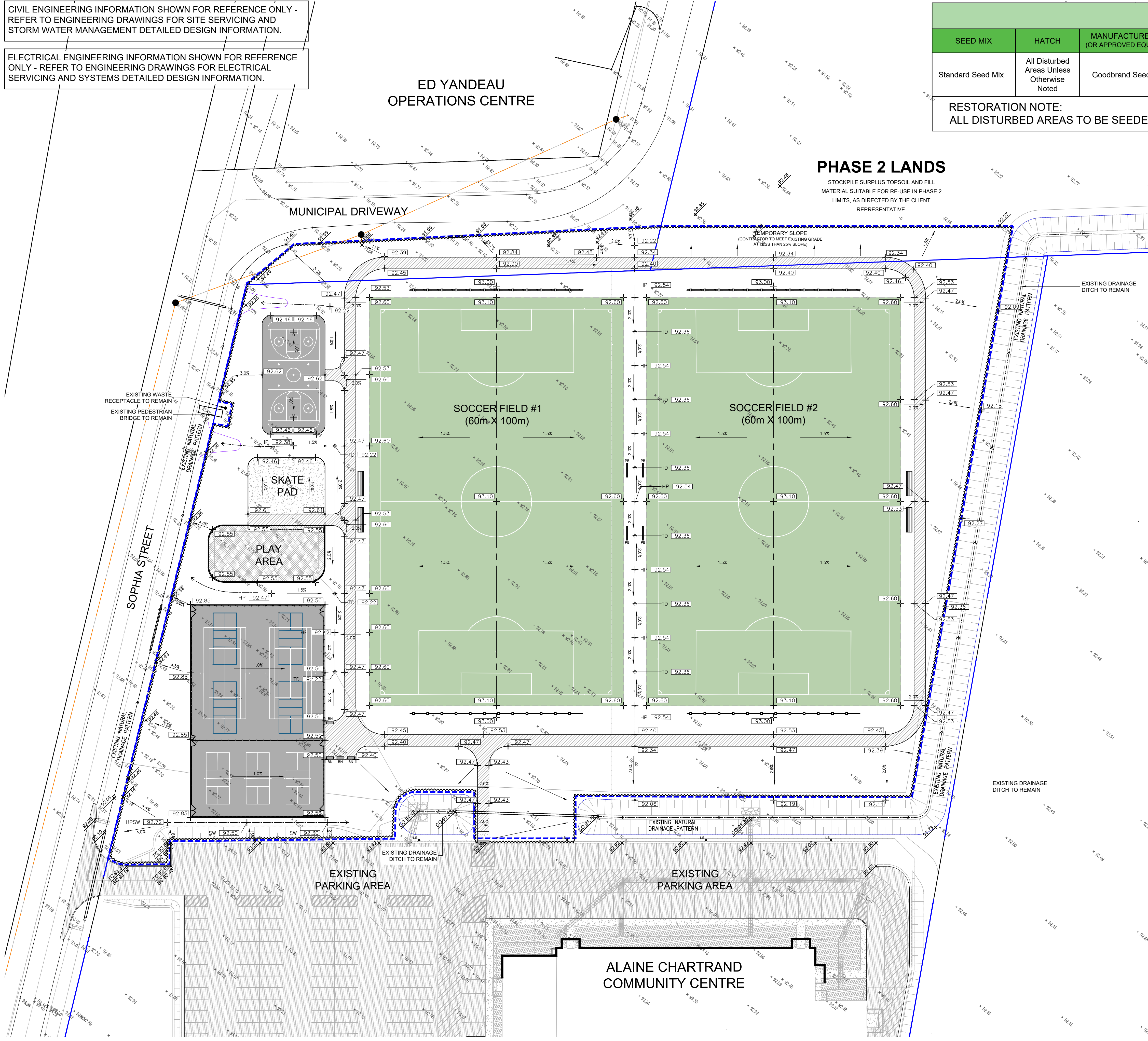
Designed: JJ	Drawn: OL	Scale: 1:500	Drawing No.: L-1
Date of Drawing: JULY 2024	Job No.: TOP002		

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ELECTRICAL ENGINEERING INFORMATION SHOWN FOR REFERENCE ONLY - REFER TO ENGINEERING DRAWINGS FOR ELECTRICAL SERVICING AND SYSTEMS DETAILED DESIGN INFORMATION.



SEED MIX DETAILS						
SEED MIX	HATCH	MANUFACTURER (OR APPROVED EQUAL)	PRODUCT NAME	MIX COMPOSITION	APPLICATION RATE	APPLICATION METHOD
Standard Seed Mix	All Disturbed Areas Unless Otherwise Noted	Goodbrand Seeds	General Mix	30% Archer Perennial Ryegrass 30% Kentucky Bluegrass 40% Creeping Red Fescue	4.5kg/100m <sup>2</sup> 10lbs/1000ft <sup>2</sup>	Hydroseed

**RESTORATION NOTE:**  
ALL DISTURBED AREAS TO BE SEEDED WITH 'STANDARD SEED MIX' UNLESS OTHERWISE NOTED.

Key Plan - N.T.S.



- Legend**
- PROPERTY LINE
  - EXISTING GRADE
  - EXISTING GRADE MATCHED
  - EXISTING SLOPE TO REMAIN
  - EXISTING DRAINAGE SWALE (TOP-OF-BANK) TO REMAIN
  - EXISTING DRAINAGE CULVERT TO REMAIN AND BE PROTECTED
  - EXISTING RIP-RAP TO REMAIN AND BE PROTECTED
  - EXISTING LIGHT POLE TO REMAIN AND BE PROTECTED
  - EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED
  - PROPOSED CONTOUR (0.50m INTERVAL)
  - PROPOSED SUB-DRAIN
  - PROPOSED TURF DRAIN
  - PROPOSED SPOT ELEVATION
  - PROPOSED SLOPE (FINISHED GRADE)
  - PROPOSED SWALE
  - PROPOSED MEDIUM DUTY ASPHALT TRAIL
  - PROPOSED SPORTS COURT ASPHALT PAVING
  - PROPOSED CONCRETE PAVING
  - PROPOSED WOOD MULCH PLAY SURFACE
  - PROPOSED BENCH
  - PROPOSED BIKE RACK
  - PROPOSED PLAYER'S BENCH
  - PROPOSED 3-TIER SPECTATOR SEATING
  - PROPOSED SOCCER FIELD BALL STOP FENCING - 3.05m HT. GALVANIZED CHAIN LINK
  - PROPOSED TENNIS COURT FENCING - 3.05m HT. GALVANIZED CHAIN LINK
  - PROPOSED PICKLEBALL COURT FENCING - 1.5m HT. GALVANIZED CHAIN LINK

No	Date	Revisions	By
1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ

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Association of Landscape Architects  
Ontario Member

North Arrow

Designed By: \_\_\_\_\_

Client:

**PRESCOTT**  
EST 1784  
THE FORT TOWN

Consultant:

**the mbtw group**

200 Woodbine Ave., Unit 141 | Toronto, Ontario, Canada M1S 1Y7  
T: (416) 448-7707 | F: (416) 448-1803 | www.mbtw.com

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Project Name:  
**PRESCOTT RECREATION COMPLEX**

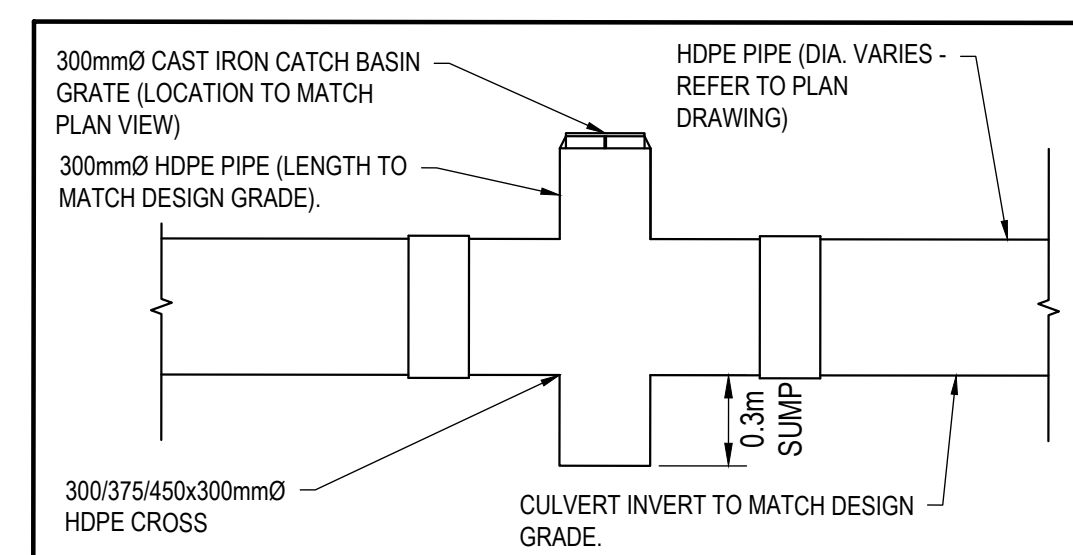
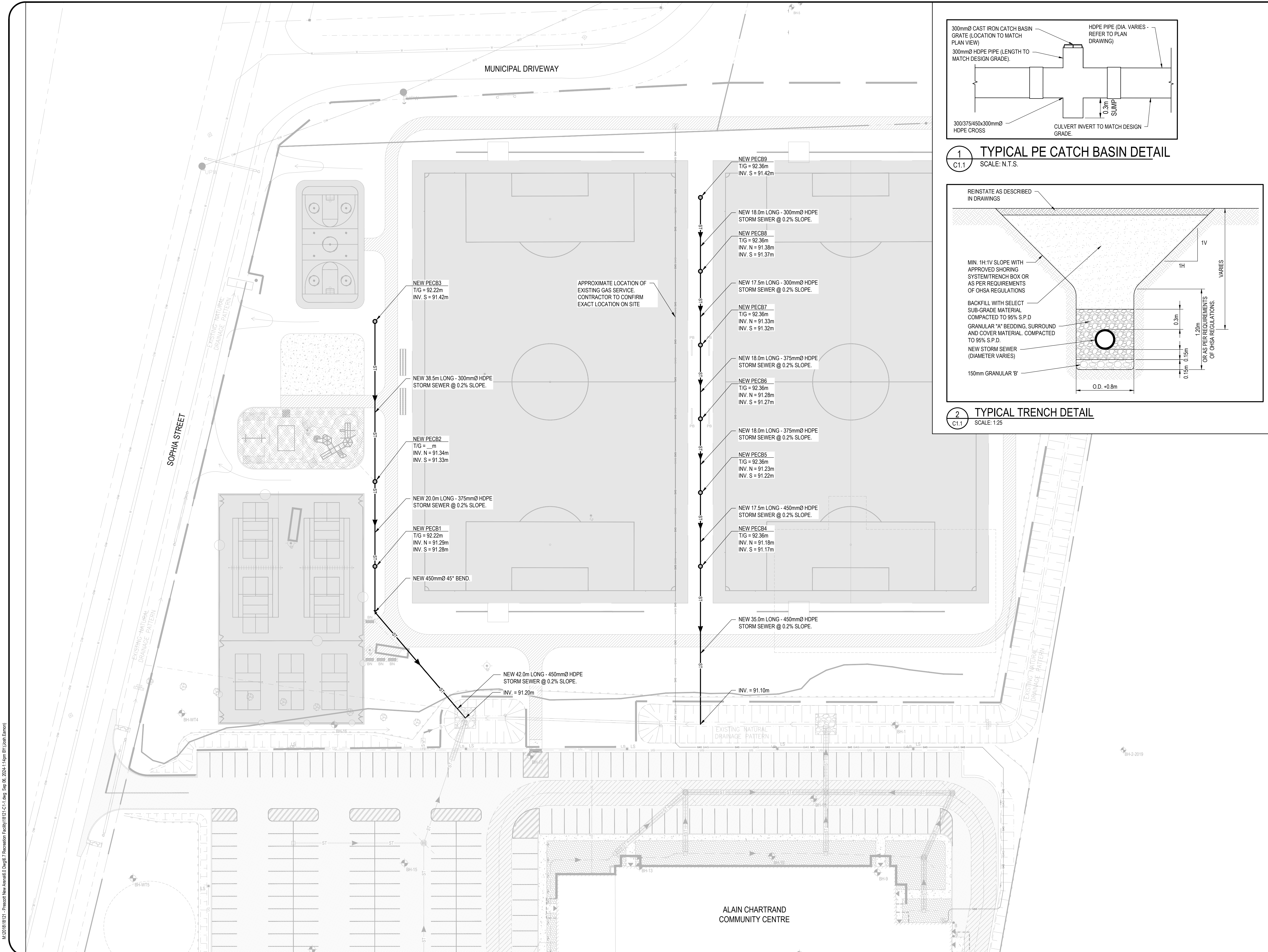
Landowner: Town of Prescott

Sheet Title:  
**GRADING PLAN**

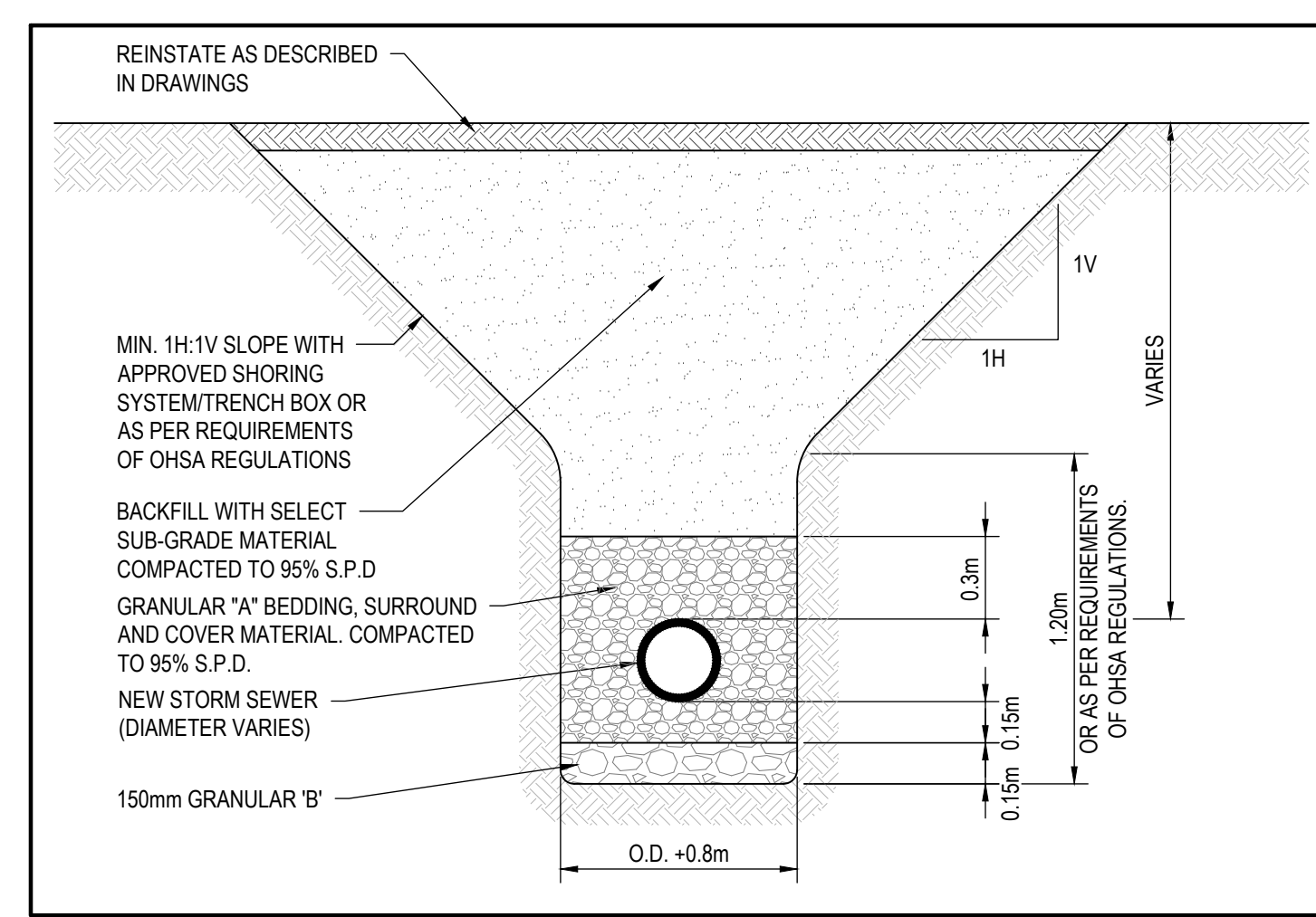
Designed: JJ	Drawn: OL	Scale: 1:500	Drawing No.: L-2
Date of Drawing: JULY 2024	Job No.: TOP002		

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**1 TYPICAL PE CATCH BASIN DETAIL**  
SCALE: N.T.S.



**2 TYPICAL TRENCH DETAIL**  
SCALE: 1:25

**LEGEND:**

---	SITE PROPERTY LINE
---	EXISTING PROPERTY LINE
---	EXISTING EDGE OF ASPHALT
---	EXISTING CURB
---	EXISTING TOP OF SLOPE
---	EXISTING CULVERT
---	EXISTING SANITARY SEWER
---	NEW STORM SEWER
---	EXISTING STORM SEWER
---	EXISTING WATERMAIN
---	EXISTING GAS LINE
---	NEW PIPE INSULATION
---	EXISTING SANITARY MANHOLE
---	EXISTING STORM MANHOLE
---	NEW PE CATCH BASIN
---	EXISTING CATCH BASIN
---	EXISTING HYDRANT
---	EXISTING VALVE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT STANDARD
---	EXISTING OVERHEAD LINE
---	EXISTING SIGNAGE
---	SITE TEMPORARY BENCHMARK
---	NEW BUILDING ENTRANCE
---	EXISTING TERRACING
---	EXISTING BUILDING OUTLINE

DATE	No.	REVISION
2024/08/30	1	ISSUED FOR TENDER

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CLIENT: **TOWN OF PRESCOTT**

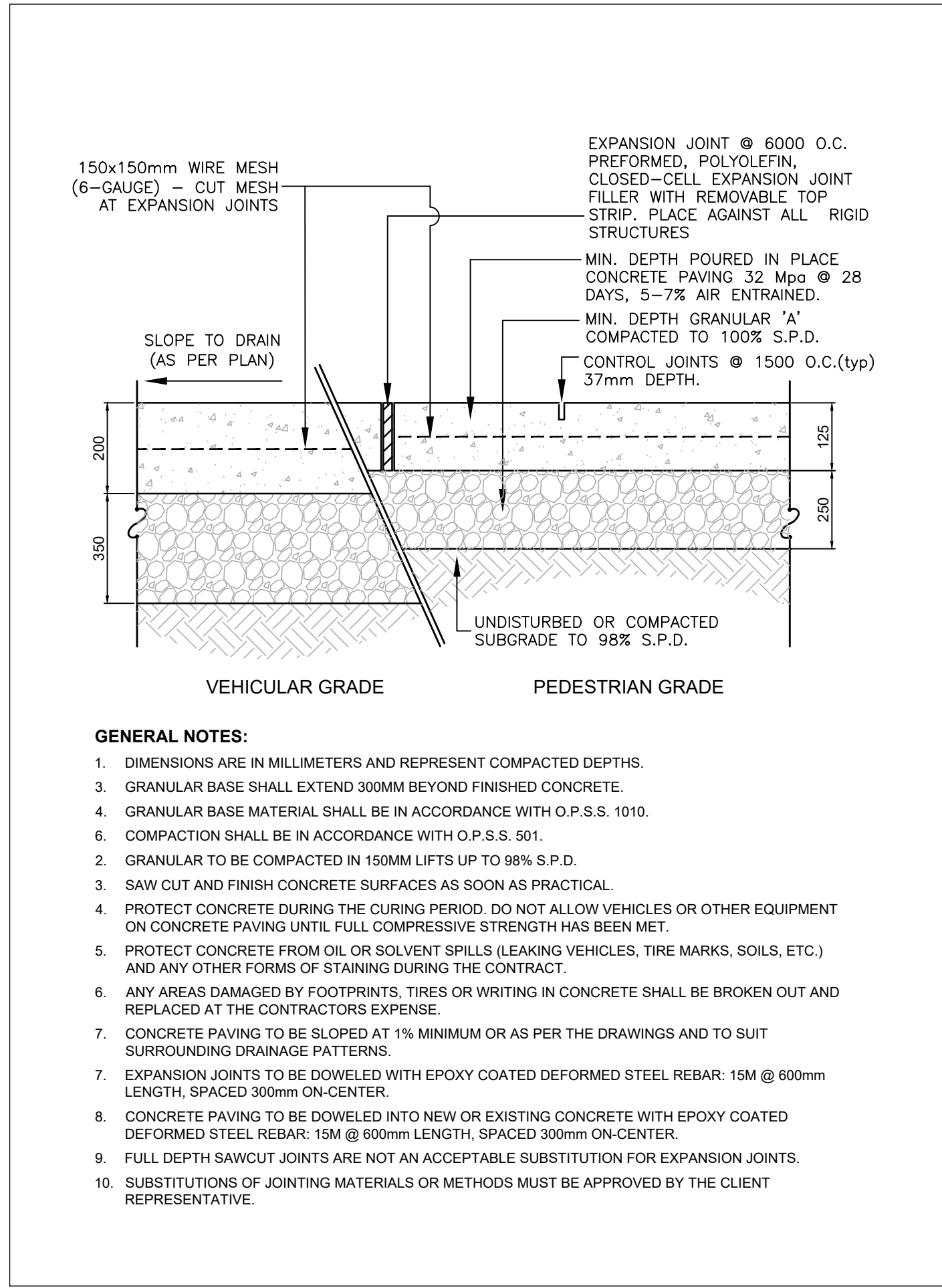
PROJECT: **PRESCOTT RECREATION COMPLEX**

TITLE: **SITE SERVICING PLAN**

SCALE: 1:400	JOB NO: 18121
DESIGNED BY: J.E.	DATE: 2024/09/05
DRAWN BY: K.B.W./M.K.	DRAWING NO:
CHECKED BY: J.E.	<b>C1.1</b>

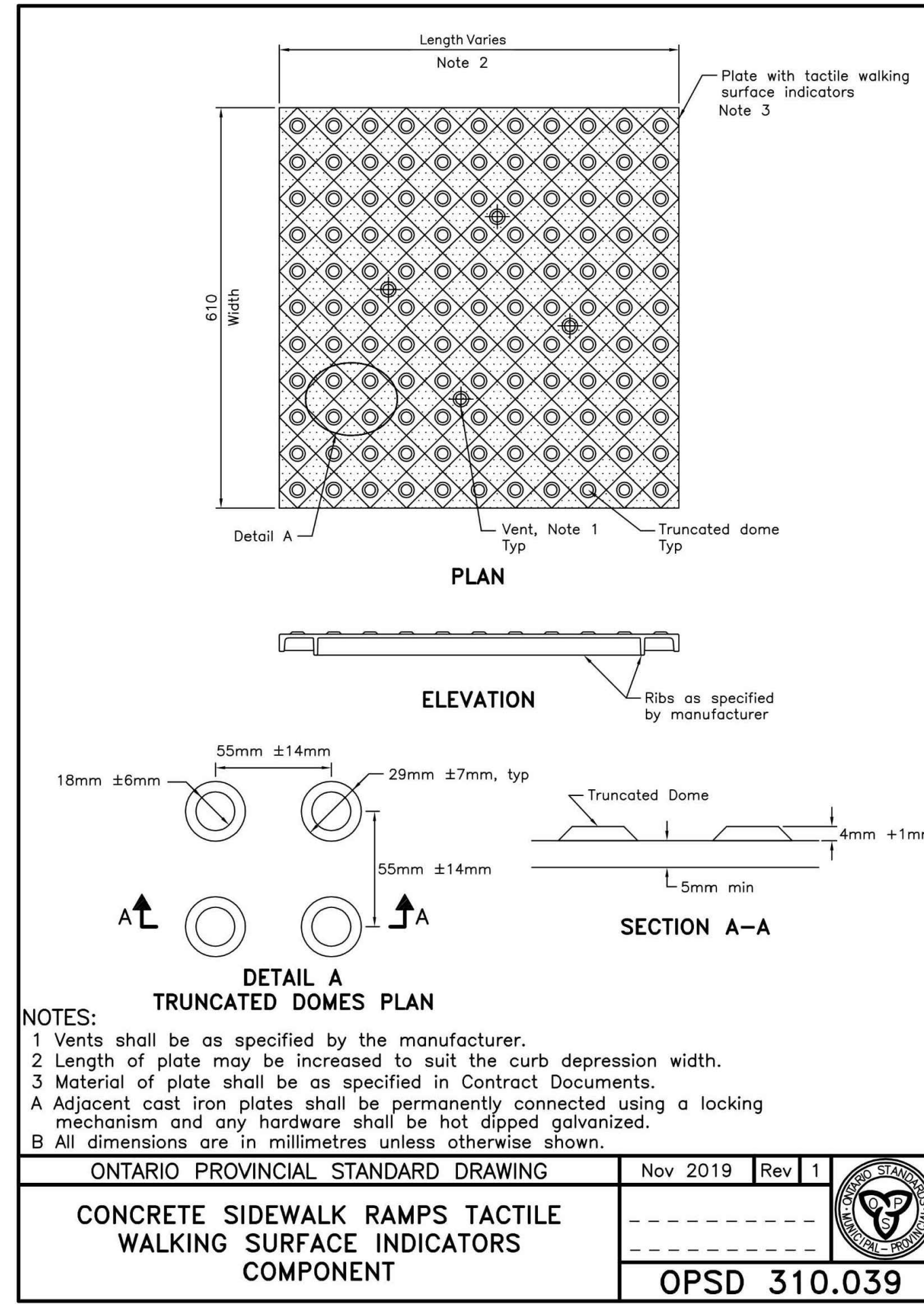
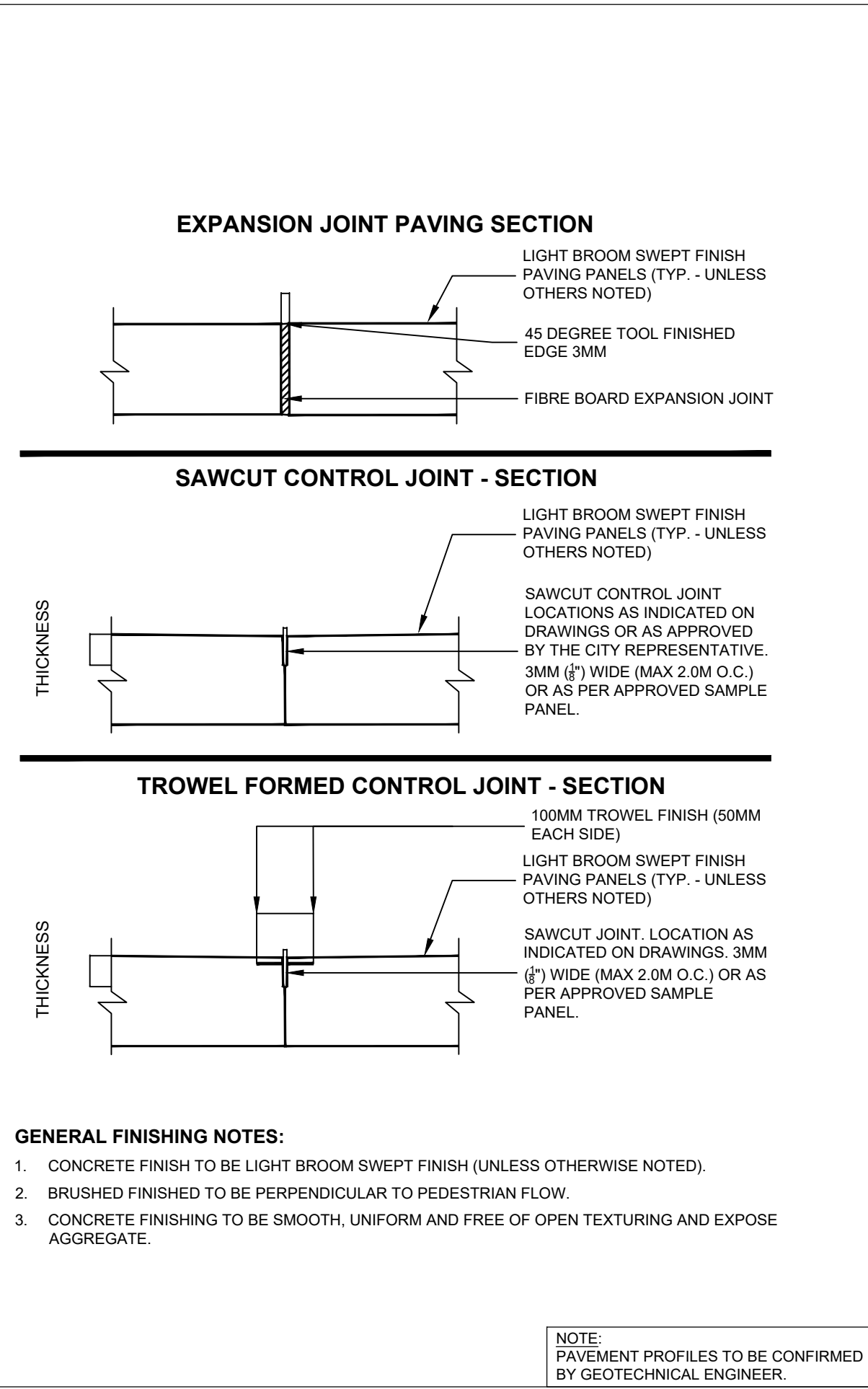
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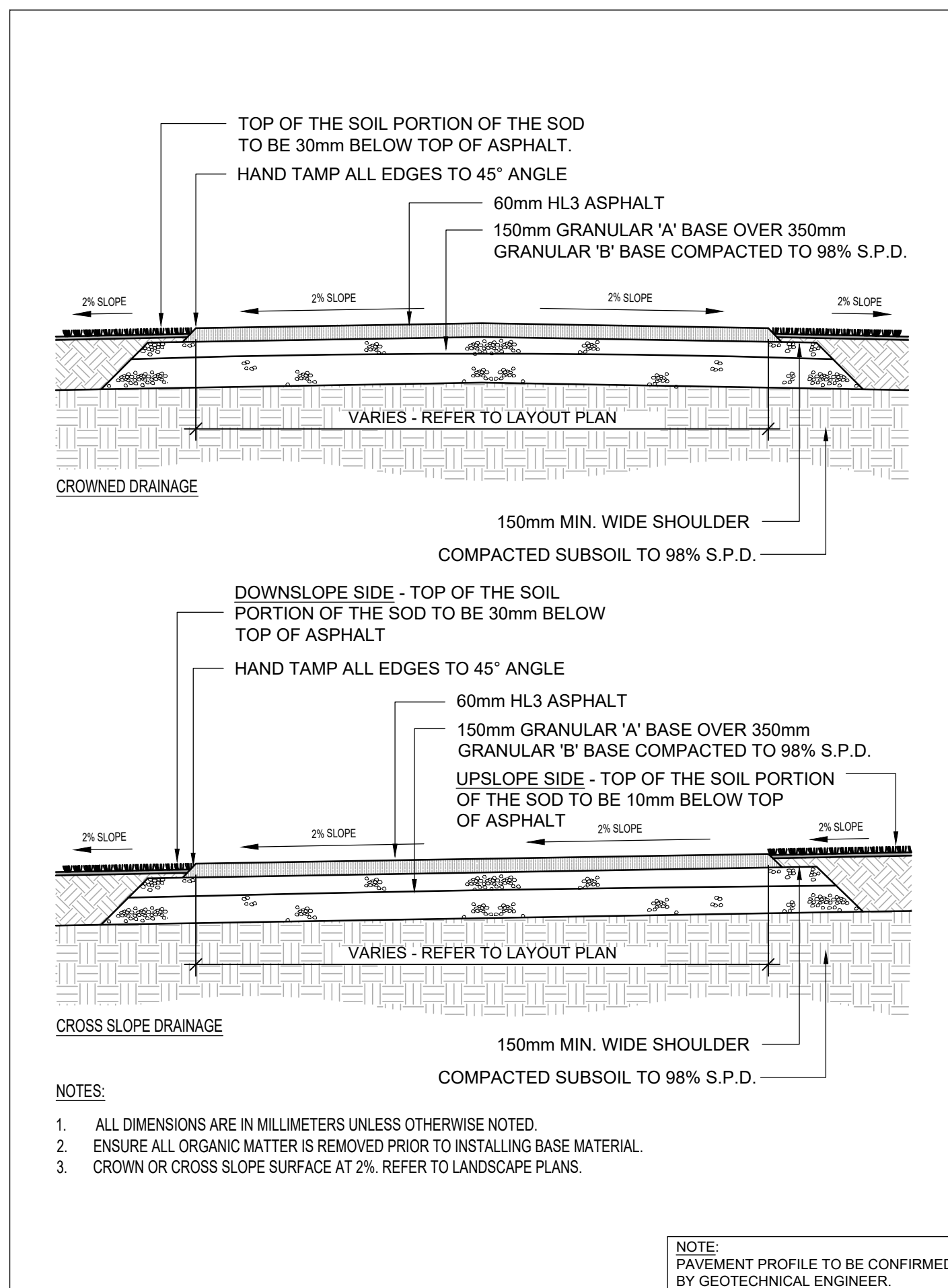
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N.T.S.



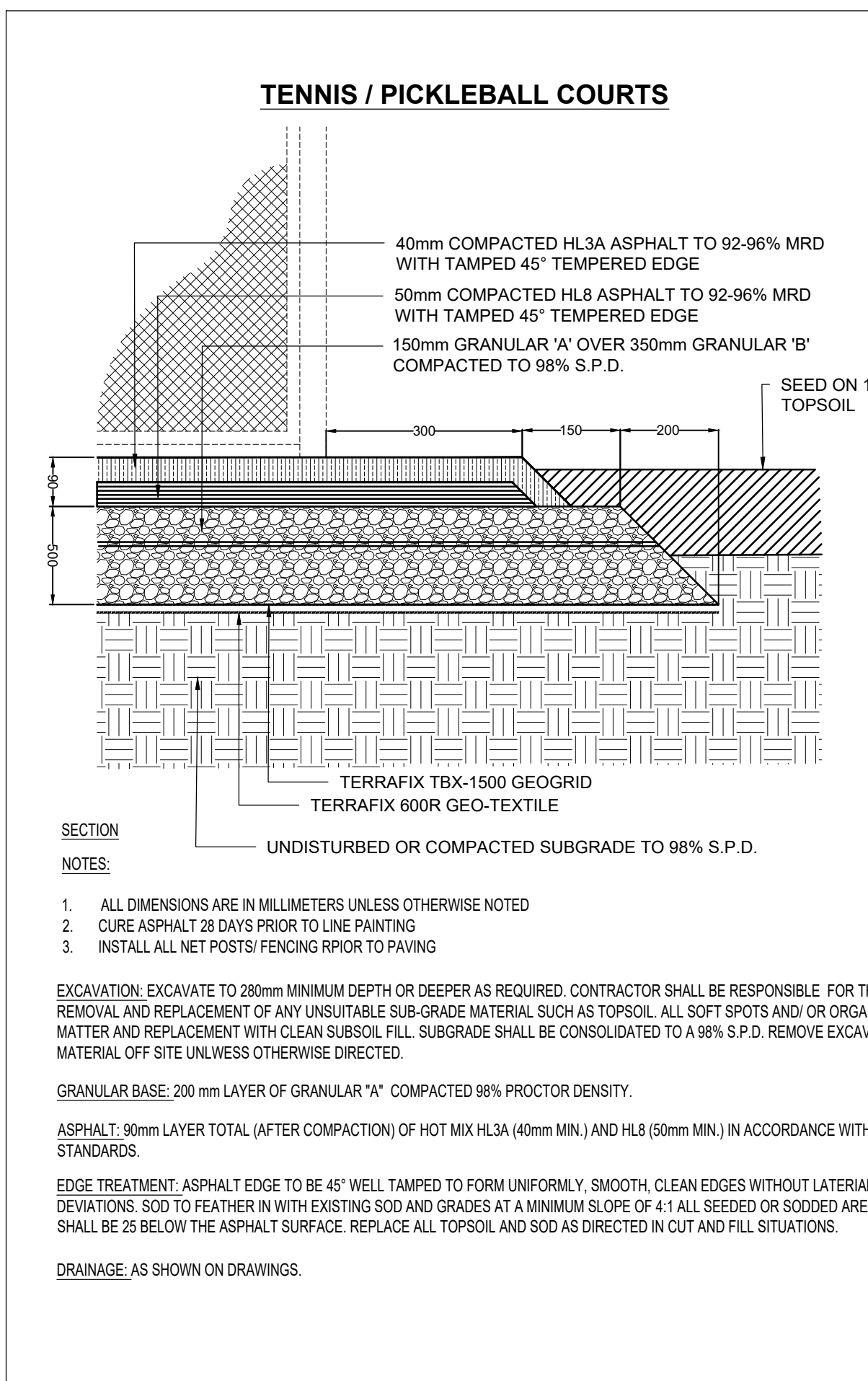
2 TACTILE WARNING PLATE

N.T.S.



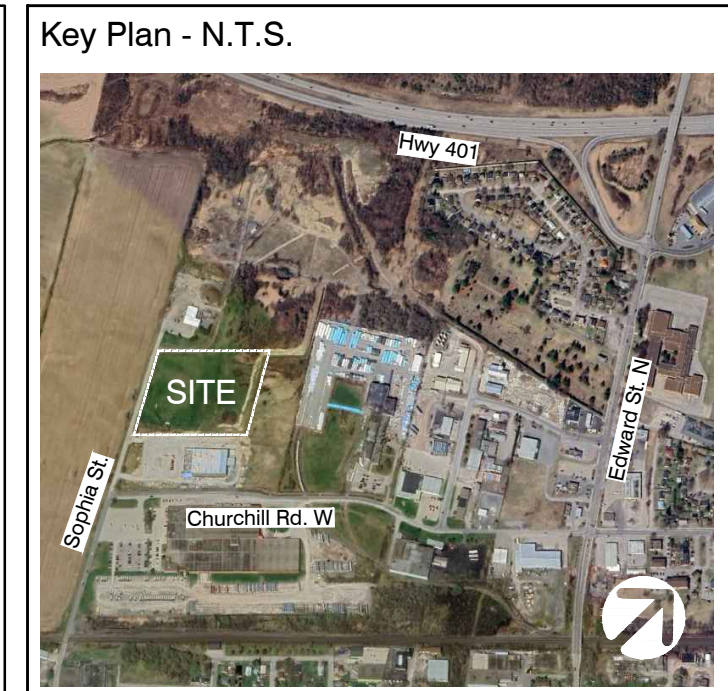
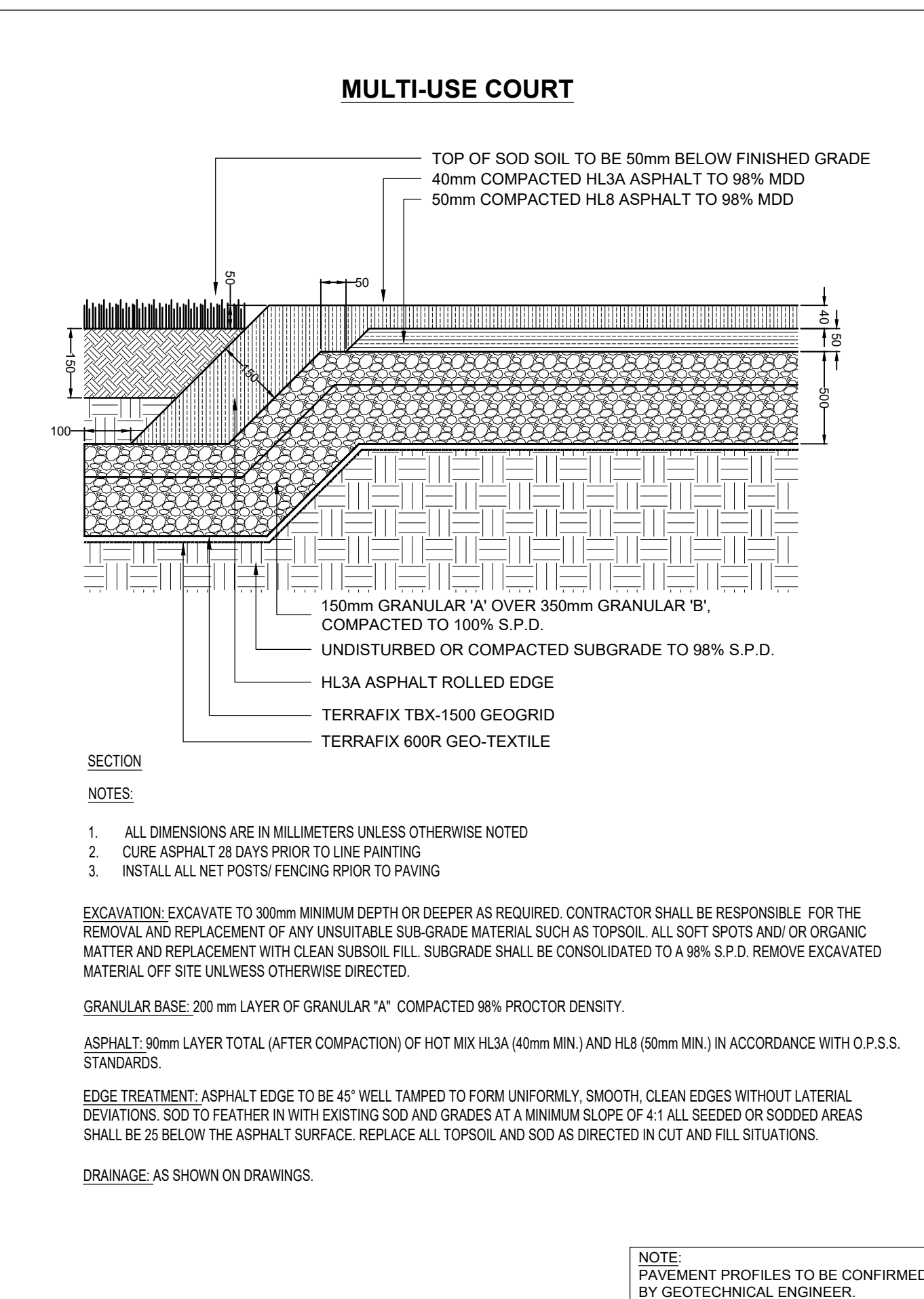
3 MEDIUM DUTY ASPHALT TRAIL

N.T.S.



4 SPORTS COURT ASPHALT SURFACES

N.T.S.



No	Date	Revisions	By
1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ

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Designed By: **North Arrow**

Client: **PRESCOTT THE FORT TOWN**

Consultant: **the mbtw group**

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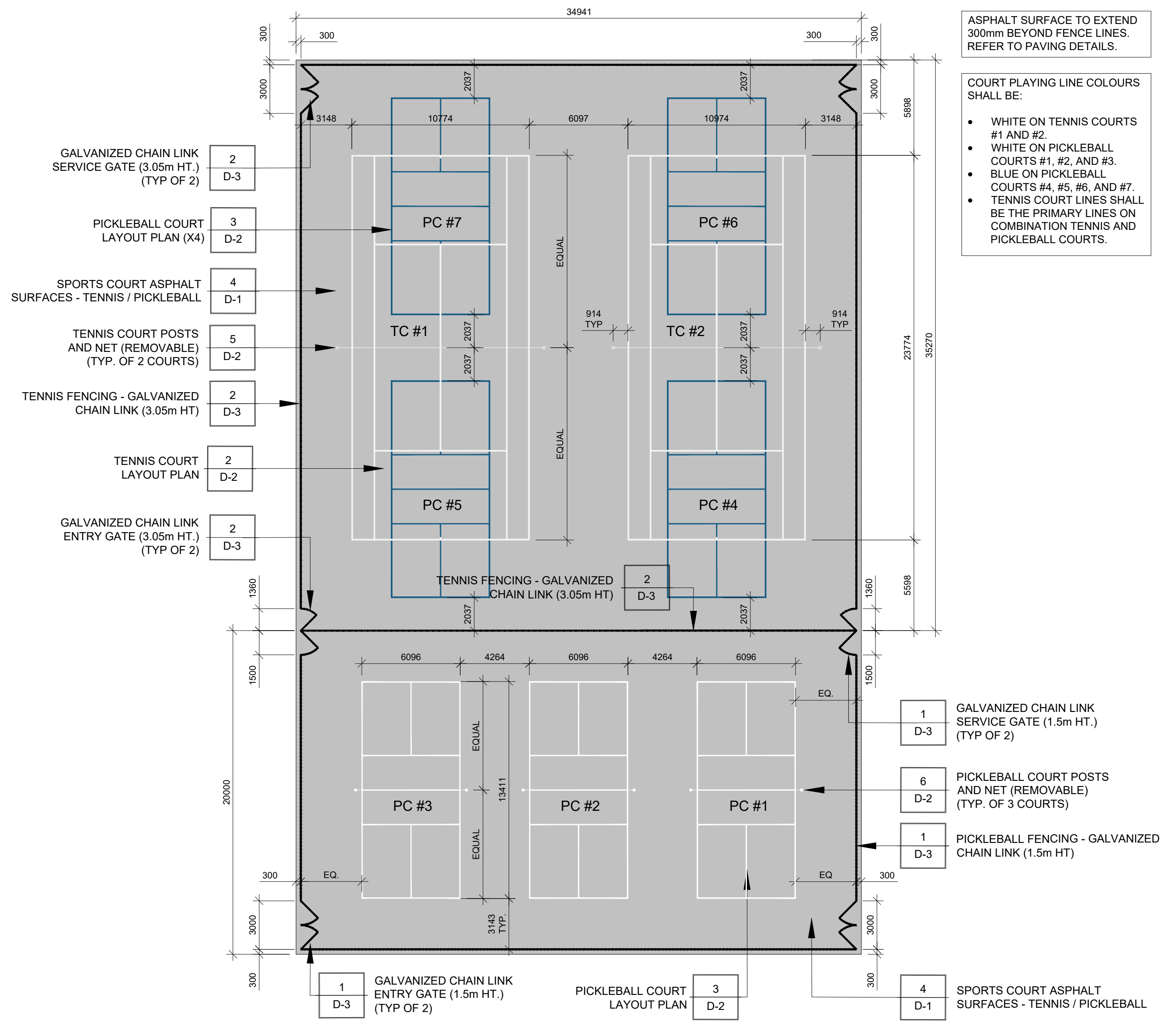
Project Name: **PRESCOTT RECREATION COMPLEX**

Landowner: **Town of Prescott**

Sheet Title: **PAVING DETAILS**

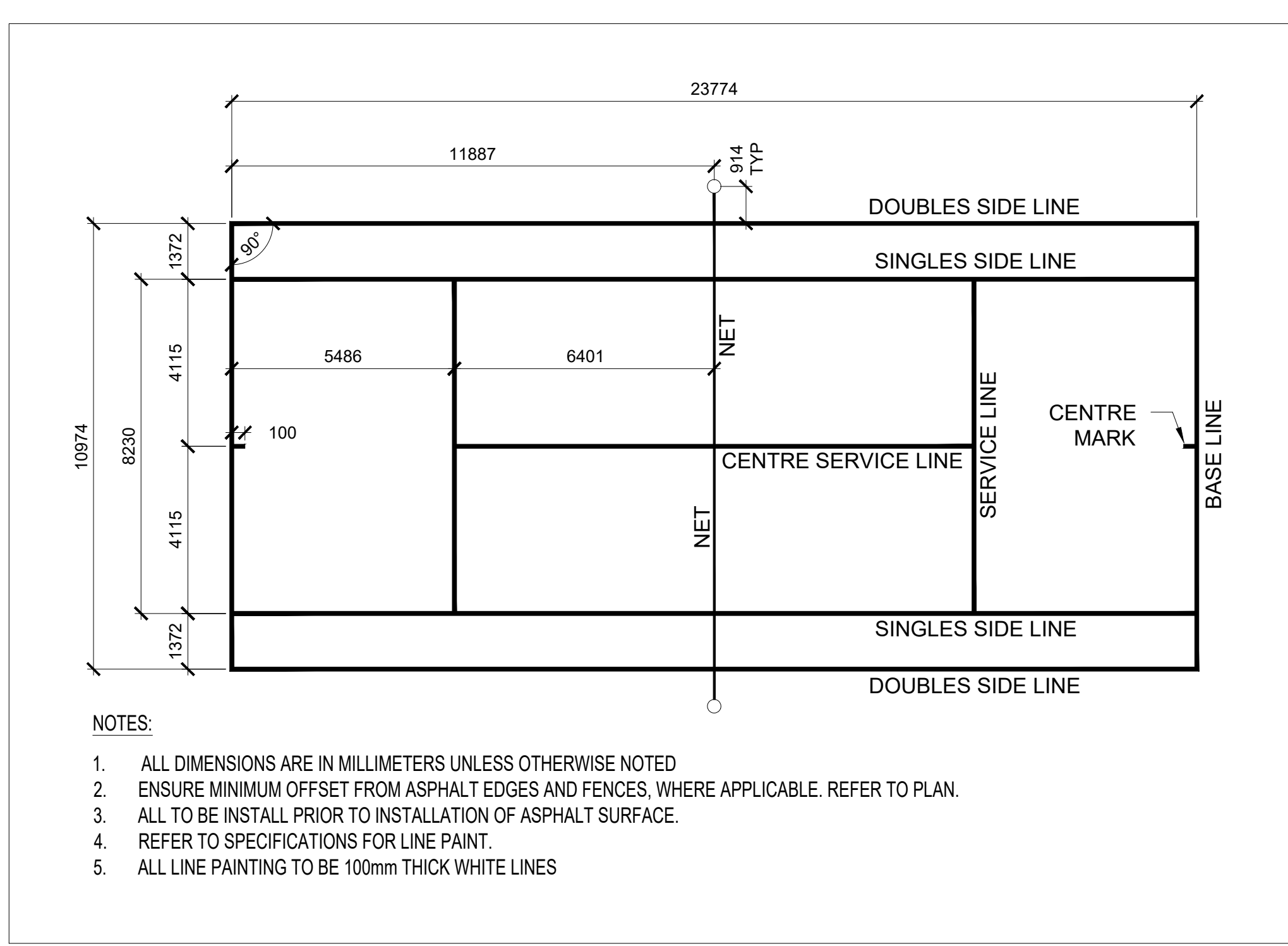
Designed: JJ	Drawn: JJ	Scale: ~	Drawing No.: D-1
Date of Drawing: JULY 2024	Job No.: TOP002		



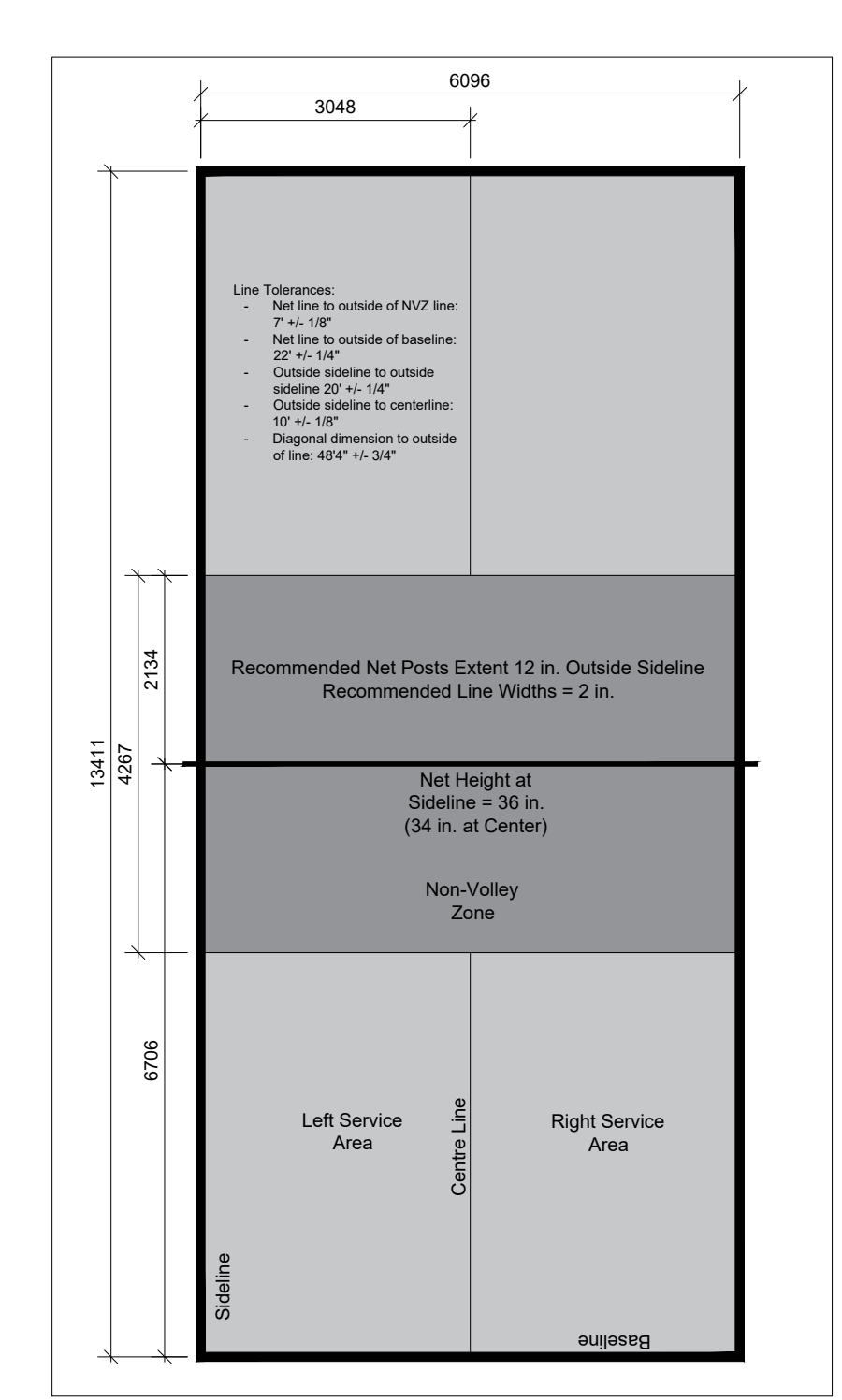


1 TENNIS / PICKLEBALL COURTS - LAYOUT PLAN N.T.S.

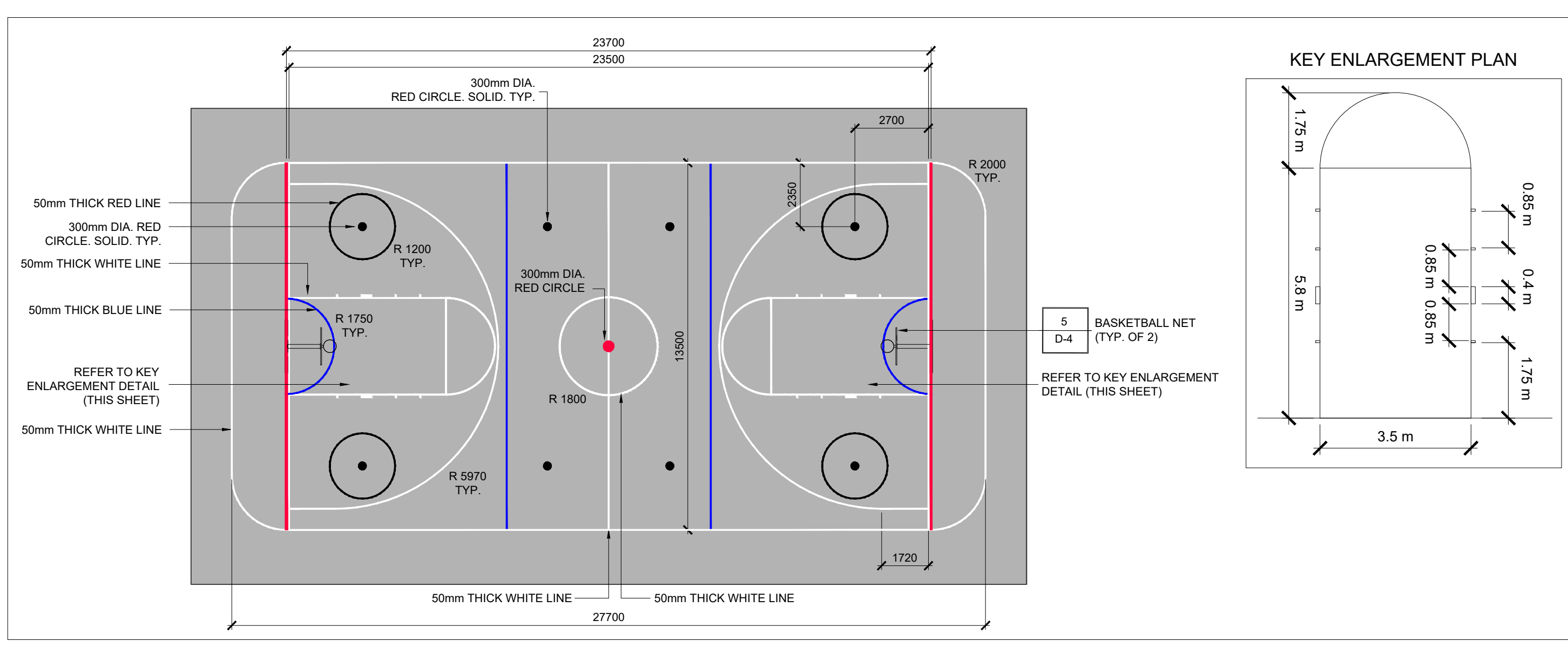
- ASPHALT SURFACE TO EXTEND 300mm BEYOND FENCE LINES. REFER TO PAVING DETAILS.
- COURT PLAYING LINE COLOURS SHALL BE:
  - WHITE ON TENNIS COURTS #1 AND #2.
  - WHITE ON PICKLEBALL COURTS #1, #2, AND #3.
  - BLUE ON PICKLEBALL COURTS #4, #5, #6, AND #7.
- TENNIS COURT LINES SHALL BE THE PRIMARY LINES ON COMBINATION TENNIS AND PICKLEBALL COURTS.



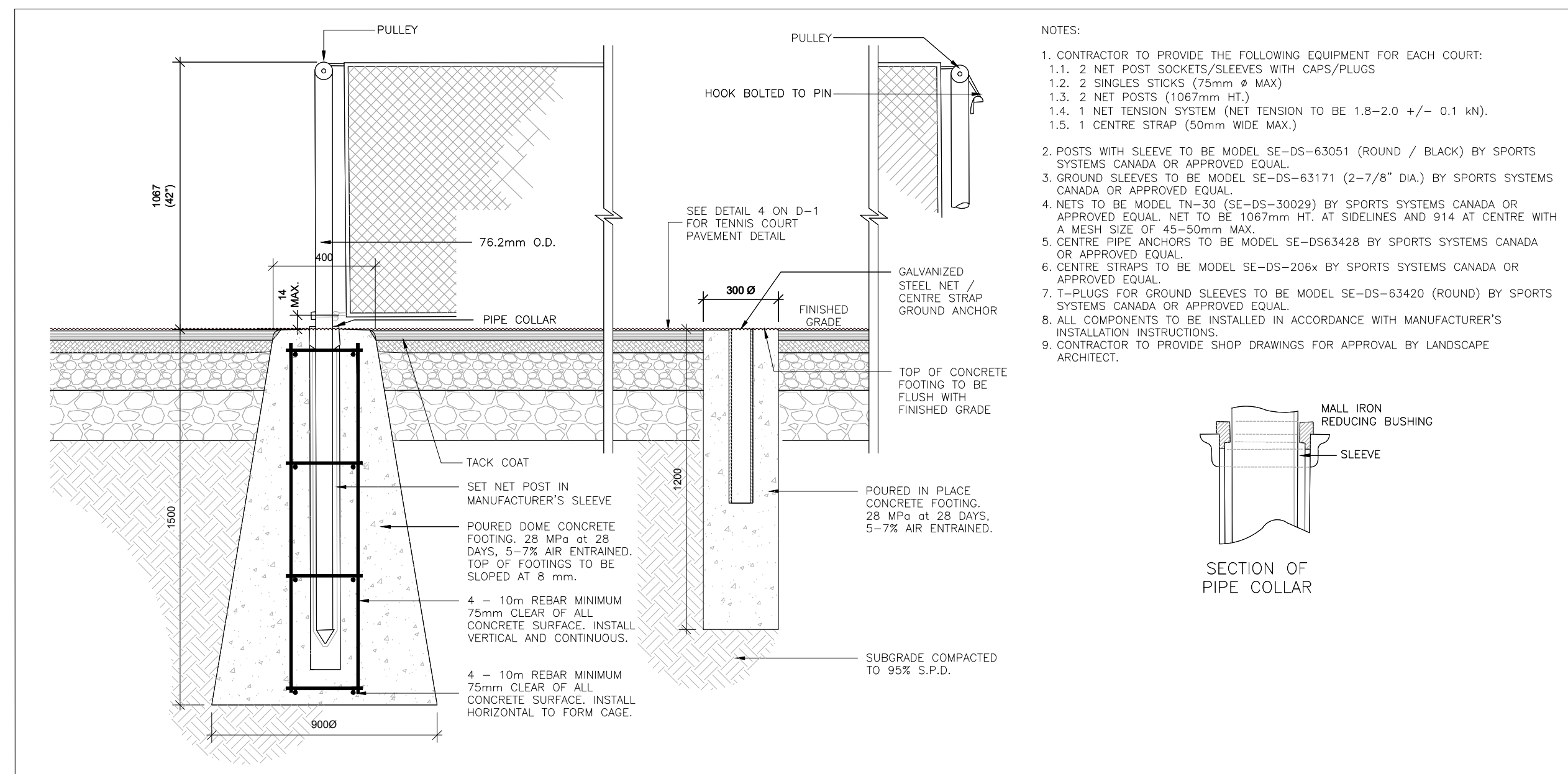
2 TENNIS COURT LAYOUT PLAN N.T.S.



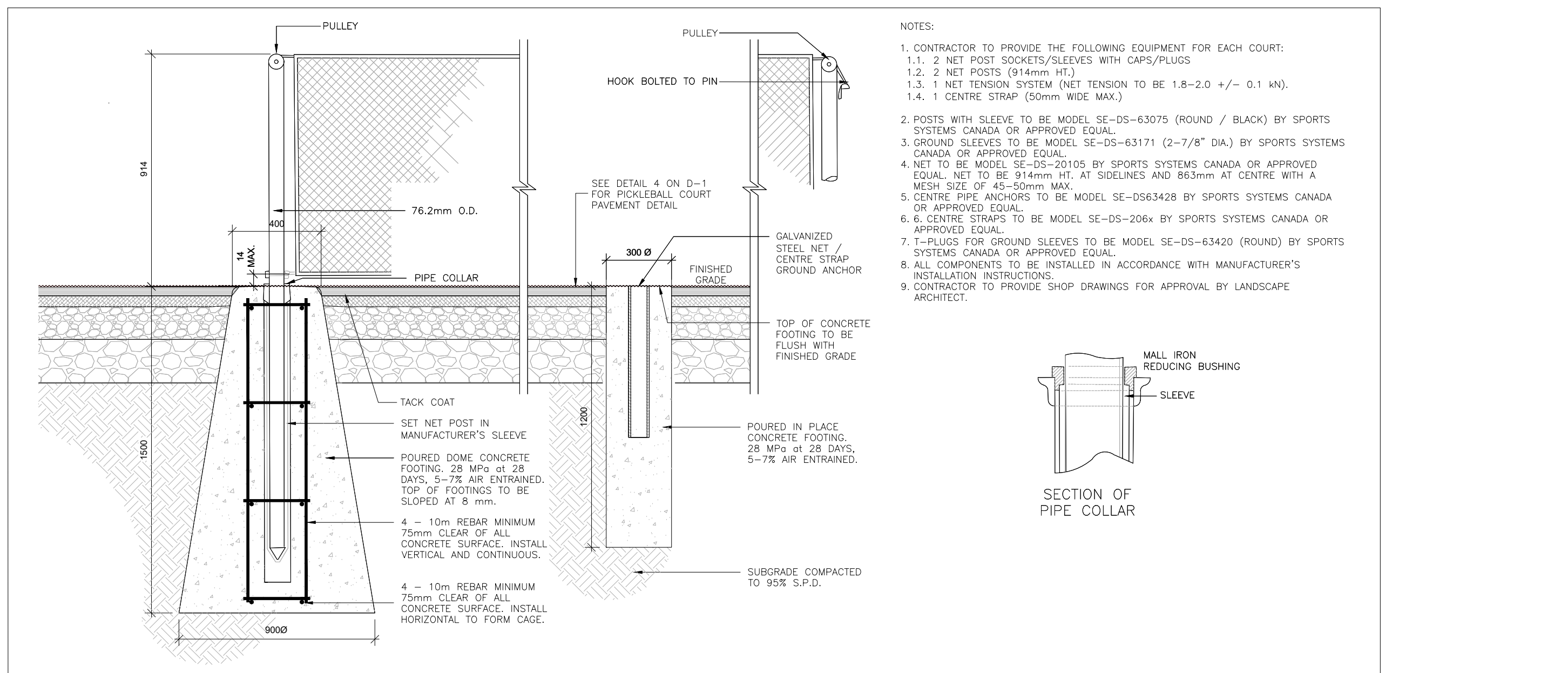
3 PICKLEBALL COURT LAYOUT PLAN N.T.S.



4 MULTI-USE COURT LAYOUT PLAN N.T.S.



5 TENNIS COURT POST AND NET (REMOVABLE) N.T.S.



6 PICKLEBALL COURT POST AND NET (REMOVABLE) N.T.S.

Key Plan - N.T.S.



Sports Court - Colour Playing Lines:

- All line widths shall be sport specific and as identified on the drawings.
- Line paint shall be Plexicolour Line Paint or approved equal.
- Line paint shall be:
  - Suitable for use over asphalt or tar emulsion surfaces including slurry coats.
  - 100% acrylic emulsion type containing no alkyds, butadiene styrene, or vinyls, and shall be diluted with water only.
  - Suitable for application by brush or roller.
- All materials used in the paint shall be of good commercial quality entirely for the purpose intended under normal use.
- The Contractor shall verify all site conditions and report (in writing) to the Client Representative all conditions that may adversely affect the work.
- Asphalt surface preparation shall be as per the manufacturer's requirements.
- Lines shall be carefully laid out in accordance with applicable guidelines and details.
- Install materials as per manufacturer's instructions.
- Protect and maintain completed work from time of installation until acceptance of the work.
- Remove all containers, surplus materials and debris. Dispose of materials in accordance with municipal, regional and provincial regulations.

No	Date	Revisions	By
1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ

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Client: Prescott Recreation Complex  
 Consultant: the mbtw group

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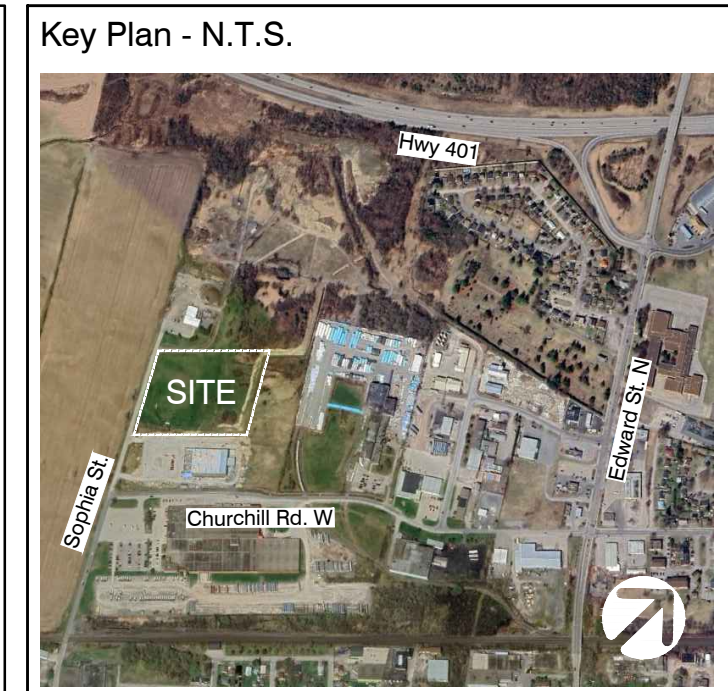
Project Name: PRESCOTT RECREATION COMPLEX

Landowner: Town of Prescott

Sheet Title: SPORTS COURT DETAILS

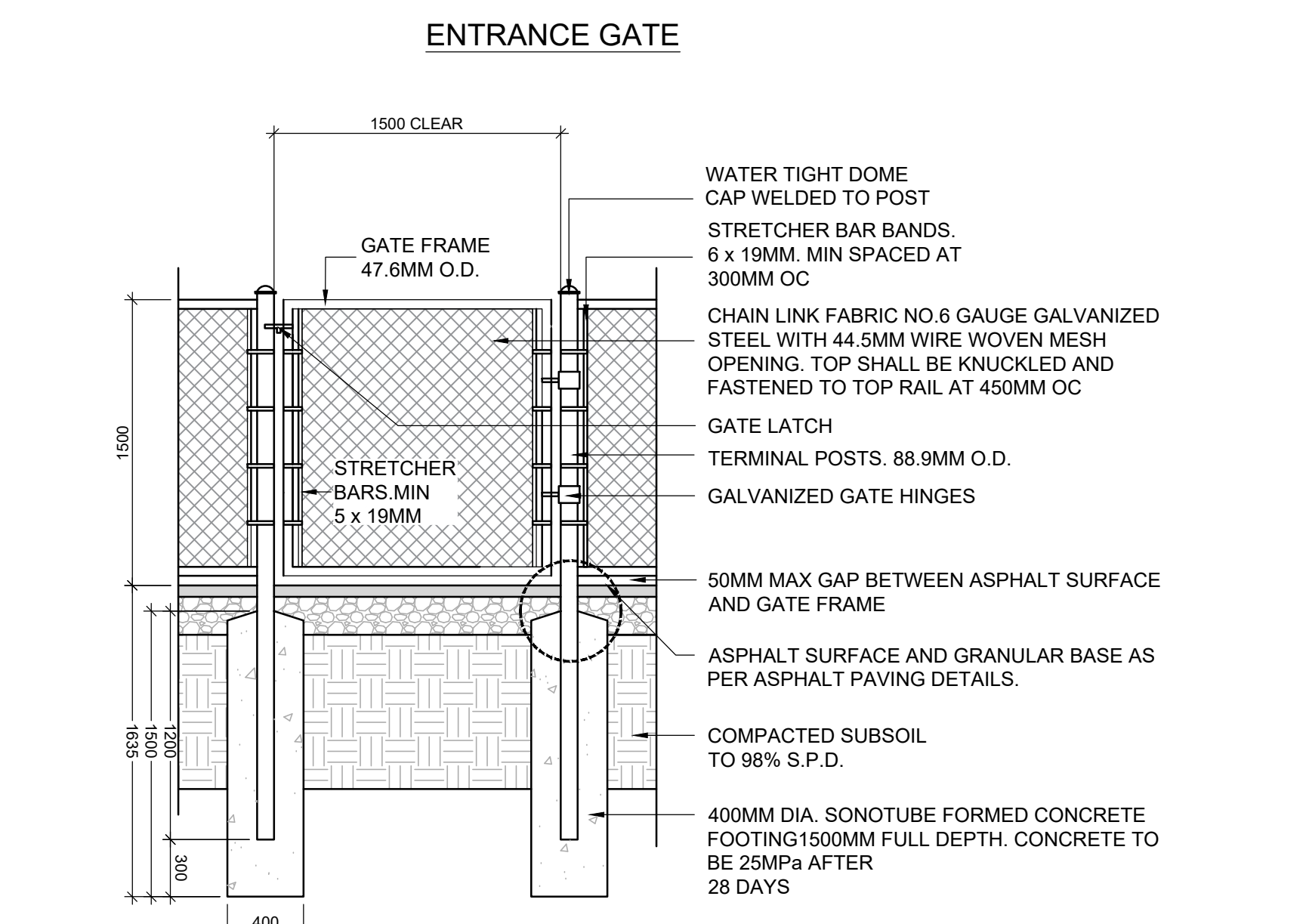
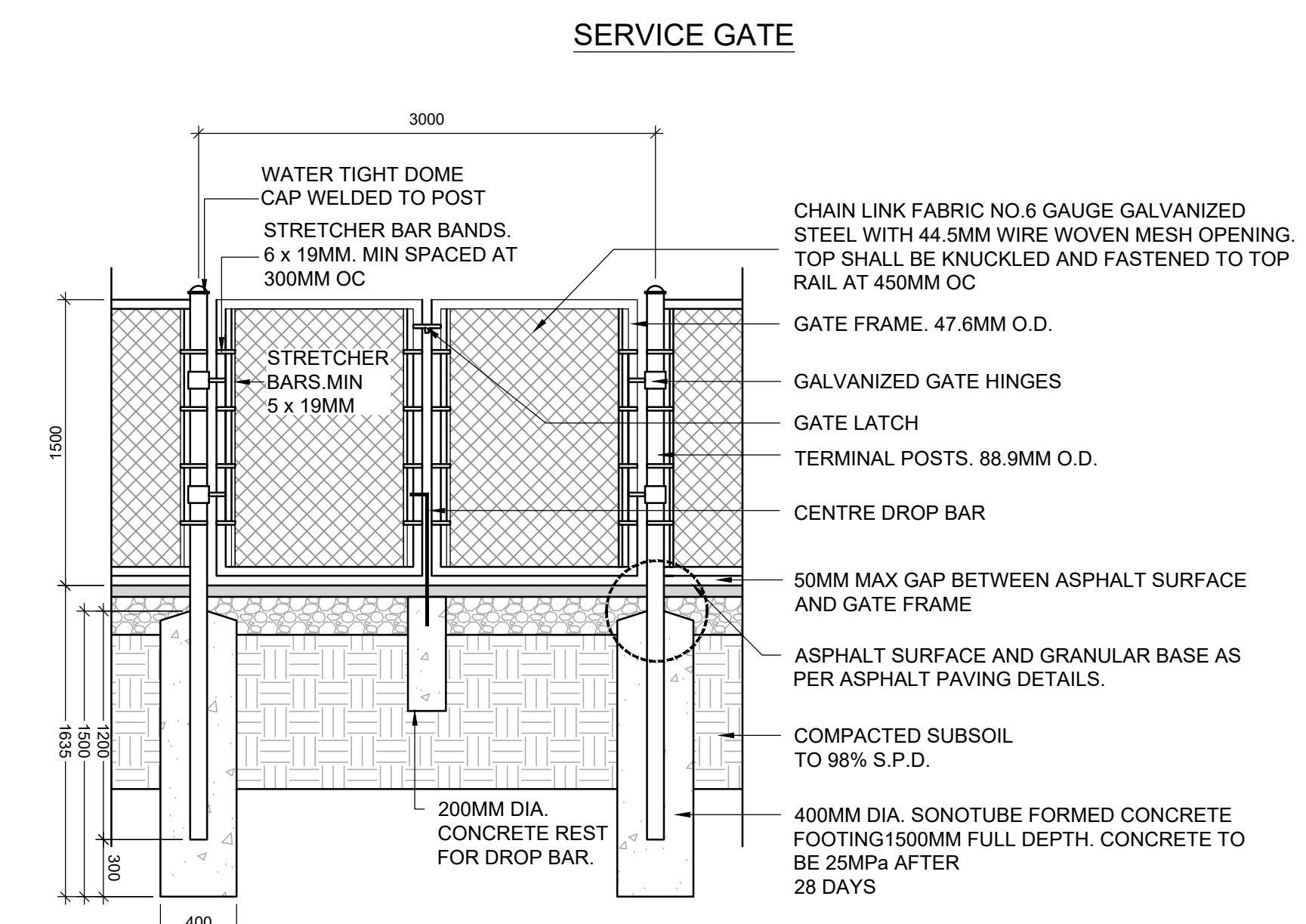
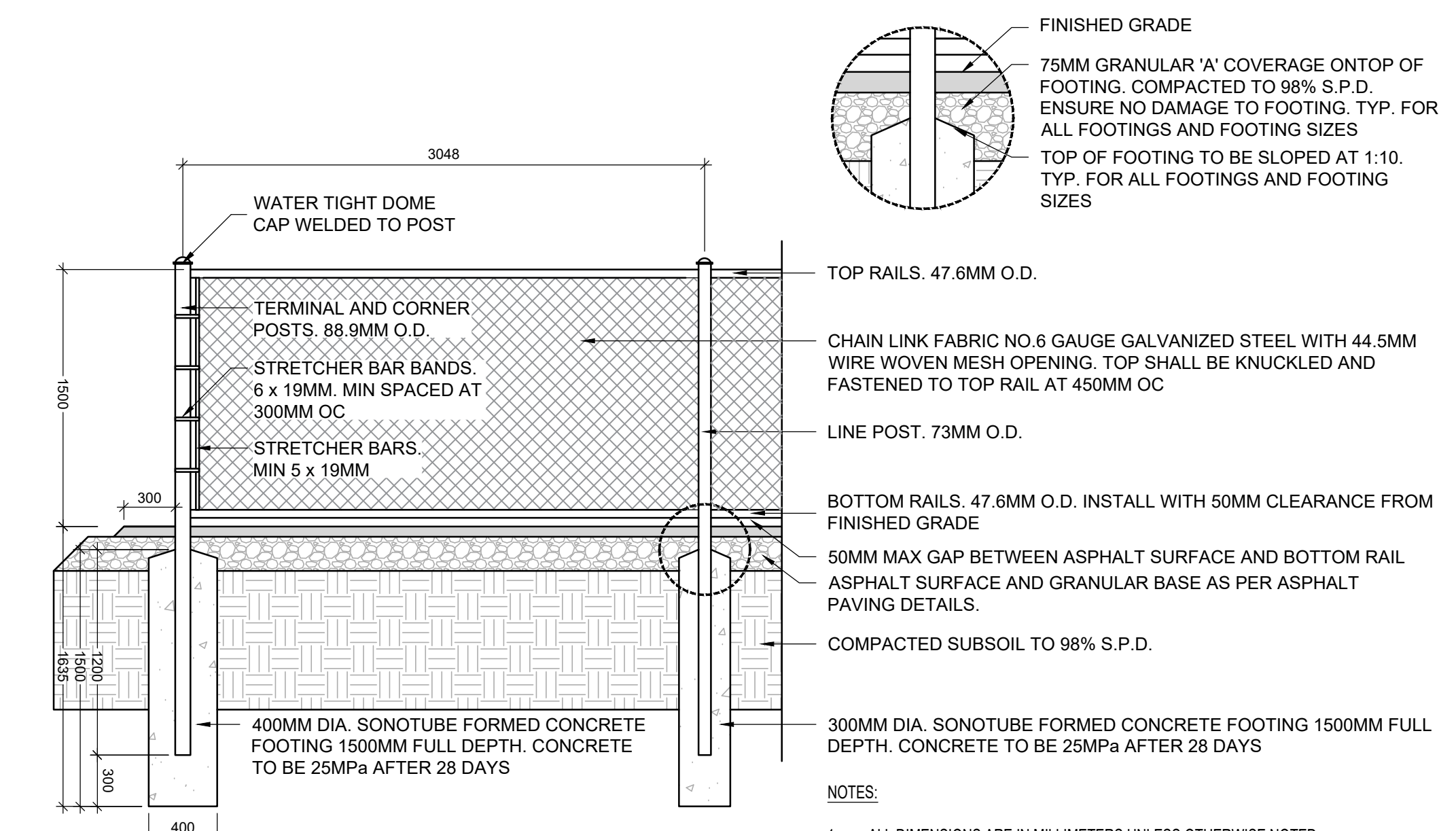
Designed: JJ	Drawn: JJ	Scale: ~	Drawing No.: D-2
Date of Drawing: JULY 2024	Job No.: TOP002		





**NOTE:**  
CONTRACTOR TO PROVIDE FENCING FOOTER DETAILS COMPLETE WITH STRUCTURAL CERTIFICATION.

**NOTE:**  
GALVANIZED CHAIN LINK FENCING AND GATES TO BE ALL WELD CONSTRUCTION.



FINISHED GRADE  
75MM GRANULAR 'A' COVERAGE ON TOP OF FOOTING. COMPACTED TO 98% S.P.D. ENSURE NO DAMAGE TO FOOTING. TYP. FOR ALL FOOTINGS AND FOOTING SIZES  
TOP OF FOOTING TO BE SLOPED AT 1:10. TYP. FOR ALL FOOTINGS AND FOOTING SIZES

TOP RAILS. 47.6MM O.D.  
CHAIN LINK FABRIC NO.6 GAUGE GALVANIZED STEEL WITH 44.5MM WIRE WOVEN MESH OPENING. TOP SHALL BE KNUCKLED AND FASTENED TO TOP RAIL AT 450MM OC  
LINE POST. 73MM O.D.  
BOTTOM RAILS. 47.6MM O.D. INSTALL WITH 50MM CLEARANCE FROM FINISHED GRADE  
50MM MAX GAP BETWEEN ASPHALT SURFACE AND BOTTOM RAIL  
ASPHALT SURFACE AND GRANULAR BASE AS PER ASPHALT PAVING DETAILS.  
COMPACTED SUBSOIL TO 98% S.P.D.

400MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS  
300MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS

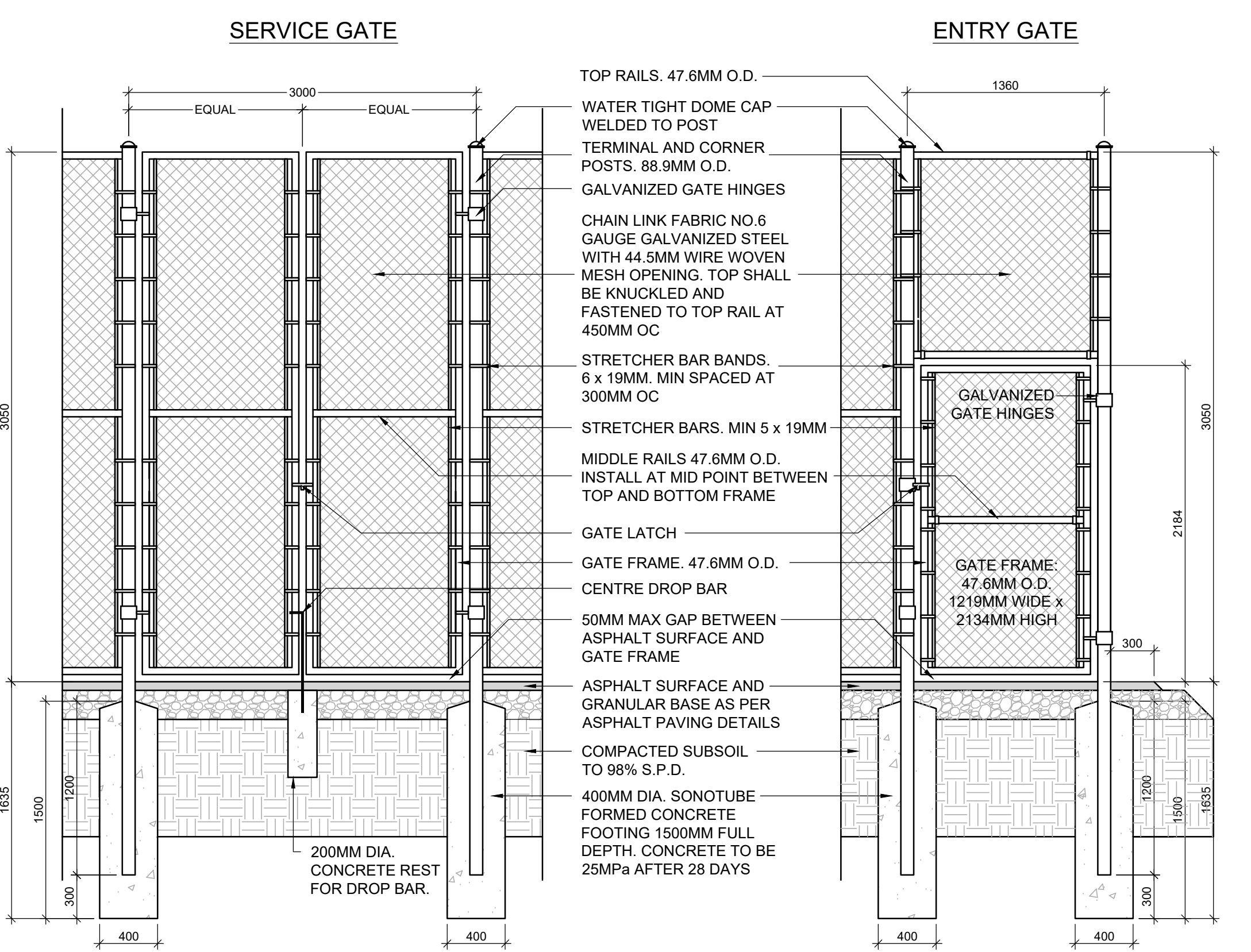
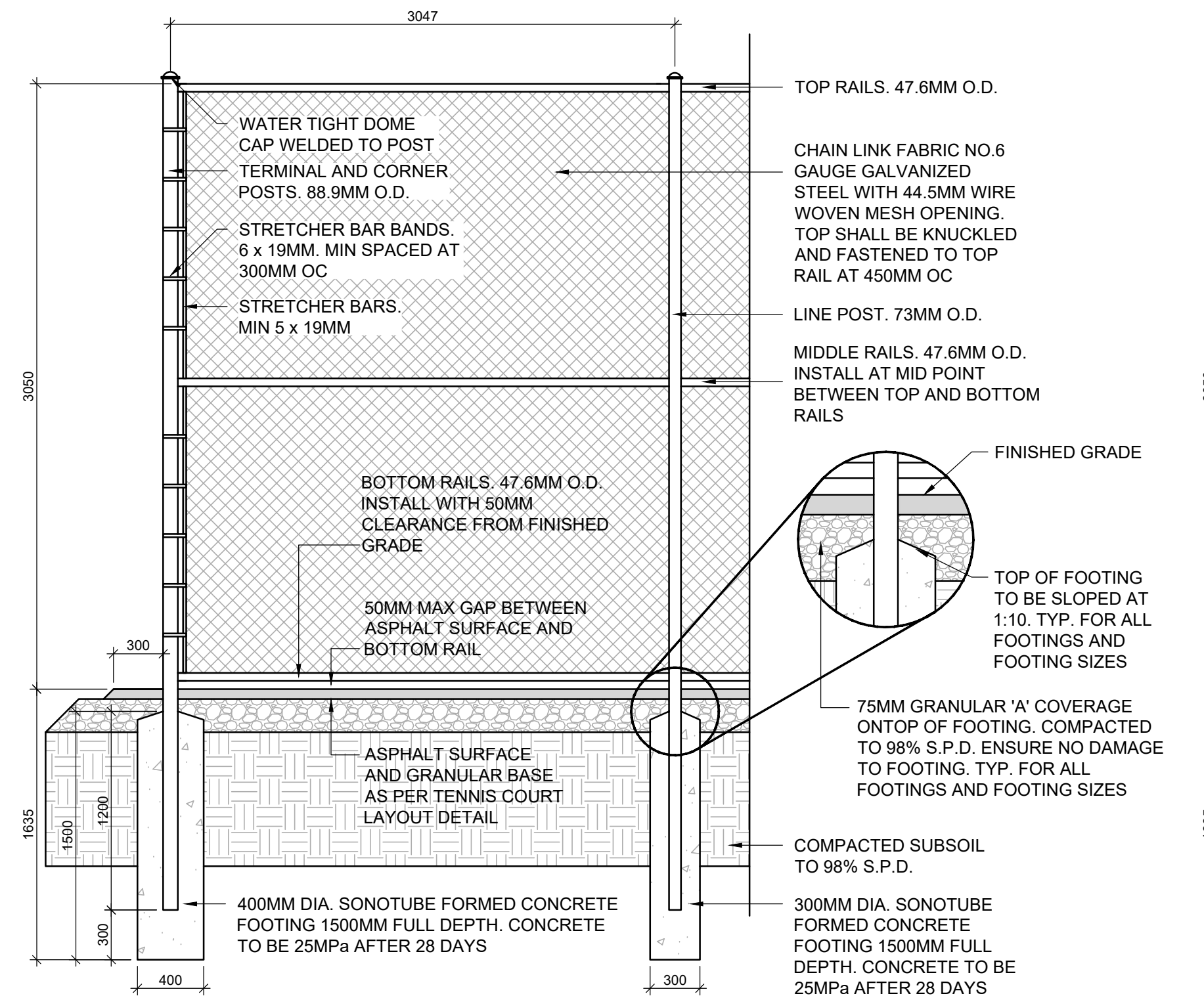
NOTES:  
1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.  
2. ALL STEEL PIPE TO BE SCHEDULE 40 GALVANIZED.  
3. ATTACH CHAIN LINK FABRIC TO INSIDE OF TENNIS COURTS AND EXTEND 25MM BEYOND TOP RAIL.  
4. GATE LATCH TO BE LOCKABLE TYPE. LOCKS SHALL BE PROVIDED BY THE TOWN.

1 PICKLEBALL COURT FENCING AND GATES - 1.5m HT. GALVANIZED CHAIN LINK

N.T.S.

**NOTE:**  
CONTRACTOR TO PROVIDE FENCING FOOTER DETAILS COMPLETE WITH STRUCTURAL CERTIFICATION.

**NOTE:**  
GALVANIZED CHAIN LINK FENCING AND GATES TO BE ALL WELD CONSTRUCTION.



FINISHED GRADE  
TOP OF FOOTING TO BE SLOPED AT 1:10. TYP. FOR ALL FOOTINGS AND FOOTING SIZES

TOP RAILS. 47.6MM O.D.  
CHAIN LINK FABRIC NO.6 GAUGE GALVANIZED STEEL WITH 44.5MM WIRE WOVEN MESH OPENING. TOP SHALL BE KNUCKLED AND FASTENED TO TOP RAIL AT 450MM OC  
LINE POST. 73MM O.D.  
MIDDLE RAILS. 47.6MM O.D. INSTALL AT MID POINT BETWEEN TOP AND BOTTOM RAILS

BOTTOM RAILS. 47.6MM O.D. INSTALL WITH 50MM CLEARANCE FROM FINISHED GRADE  
50MM MAX GAP BETWEEN ASPHALT SURFACE AND BOTTOM RAIL  
ASPHALT SURFACE AND GRANULAR BASE AS PER TENNIS COURT LAYOUT DETAIL  
COMPACTED SUBSOIL TO 98% S.P.D.

400MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS  
300MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS

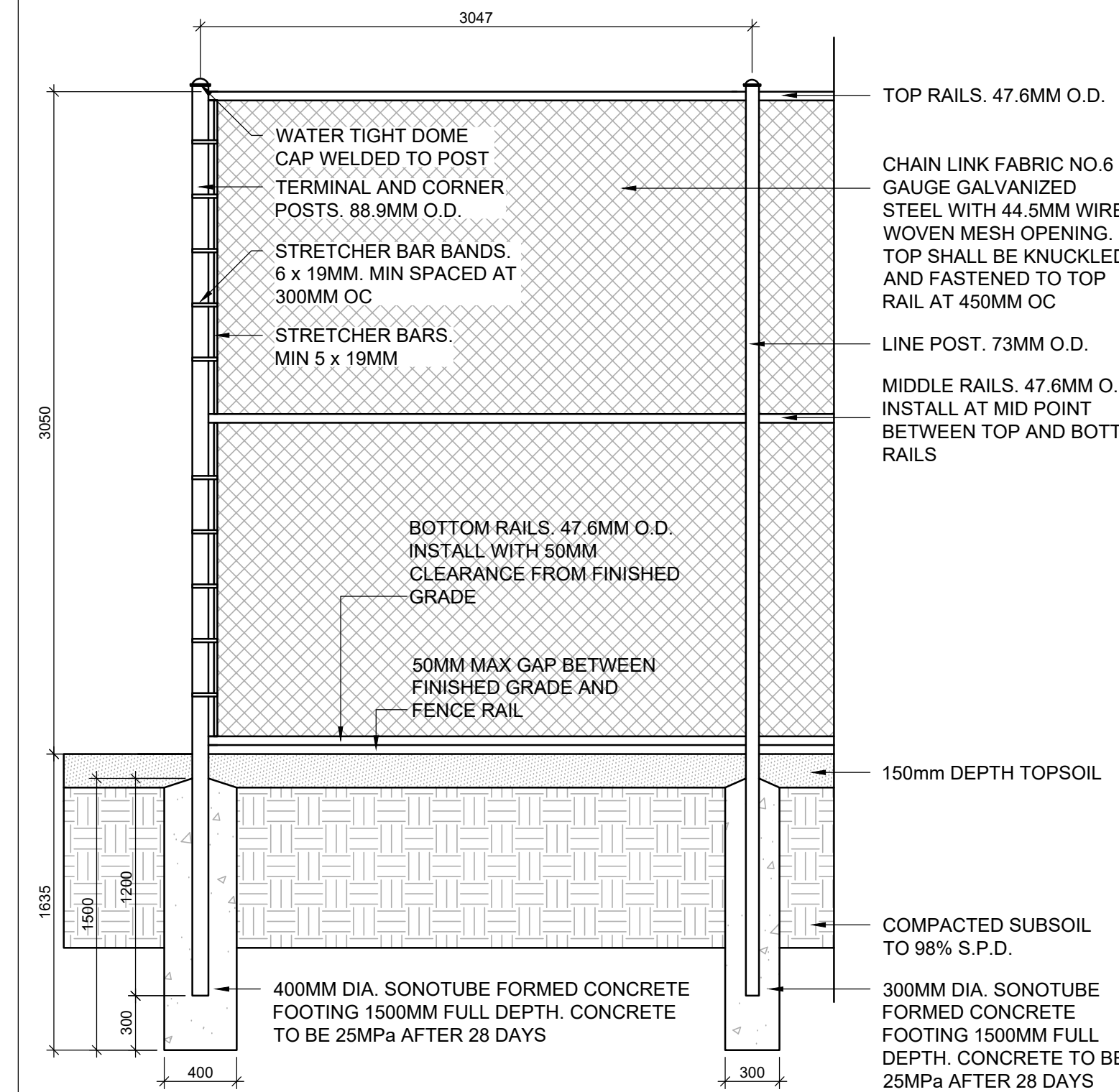
NOTES:  
1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.  
2. ALL STEEL PIPE TO BE SCHEDULE 40 GALVANIZED.  
3. ATTACH CHAIN LINK FABRIC TO INSIDE OF TENNIS COURTS AND EXTEND 25MM BEYOND TOP RAIL.  
4. GATE LATCH TO BE LOCKABLE TYPE. LOCKS SHALL BE PROVIDED BY THE TOWN.

2 TENNIS COURT FENCING AND GATES - 3.05m HT. GALVANIZED CHAIN LINK

N.T.S.

**NOTE:**  
CONTRACTOR TO PROVIDE FENCING FOOTER DETAILS COMPLETE WITH STRUCTURAL CERTIFICATION.

**NOTE:**  
GALVANIZED CHAIN LINK FENCING TO BE ALL WELD CONSTRUCTION.



TOP RAILS. 47.6MM O.D.  
CHAIN LINK FABRIC NO.6 GAUGE GALVANIZED STEEL WITH 44.5MM WIRE WOVEN MESH OPENING. TOP SHALL BE KNUCKLED AND FASTENED TO TOP RAIL AT 450MM OC  
LINE POST. 73MM O.D.  
MIDDLE RAILS. 47.6MM O.D. INSTALL AT MID POINT BETWEEN TOP AND BOTTOM RAILS

BOTTOM RAILS. 47.6MM O.D. INSTALL WITH 50MM CLEARANCE FROM FINISHED GRADE  
50MM MAX GAP BETWEEN FINISHED GRADE AND FENCE RAIL  
150MM DEPTH TOPSOIL  
COMPACTED SUBSOIL TO 98% S.P.D.

400MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS  
300MM DIA. SONOTUBE FORMED CONCRETE FOOTING 1500MM FULL DEPTH. CONCRETE TO BE 25MPa AFTER 28 DAYS

NOTES:  
1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.  
2. ALL STEEL PIPE TO BE SCHEDULE 40 GALVANIZED.  
3. ATTACH CHAIN LINK FABRIC TO THE SOCCER FIELD SIDE

3 BALL STOP FENCING - 3.05m HT. GALVANIZED CHAIN LINK

N.T.S.

1.	08.30.2024	Issued for Tender	JJ
1.	07.31.2024	Issued for Client Review	JJ
No	Date	Revisions	By

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Client:  
**the mbtw group**  
landscape architects | urban design | interior planning | construction | golf design | amenity design  
200 Wellington Ave., Unit 104 Toronto, Ontario, Canada M5R 1B8  
T (416) 448-7707 | F (416) 448-1023 | www.mbtw-gt.com

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Project Name:  
**PRESCOTT RECREATION COMPLEX**

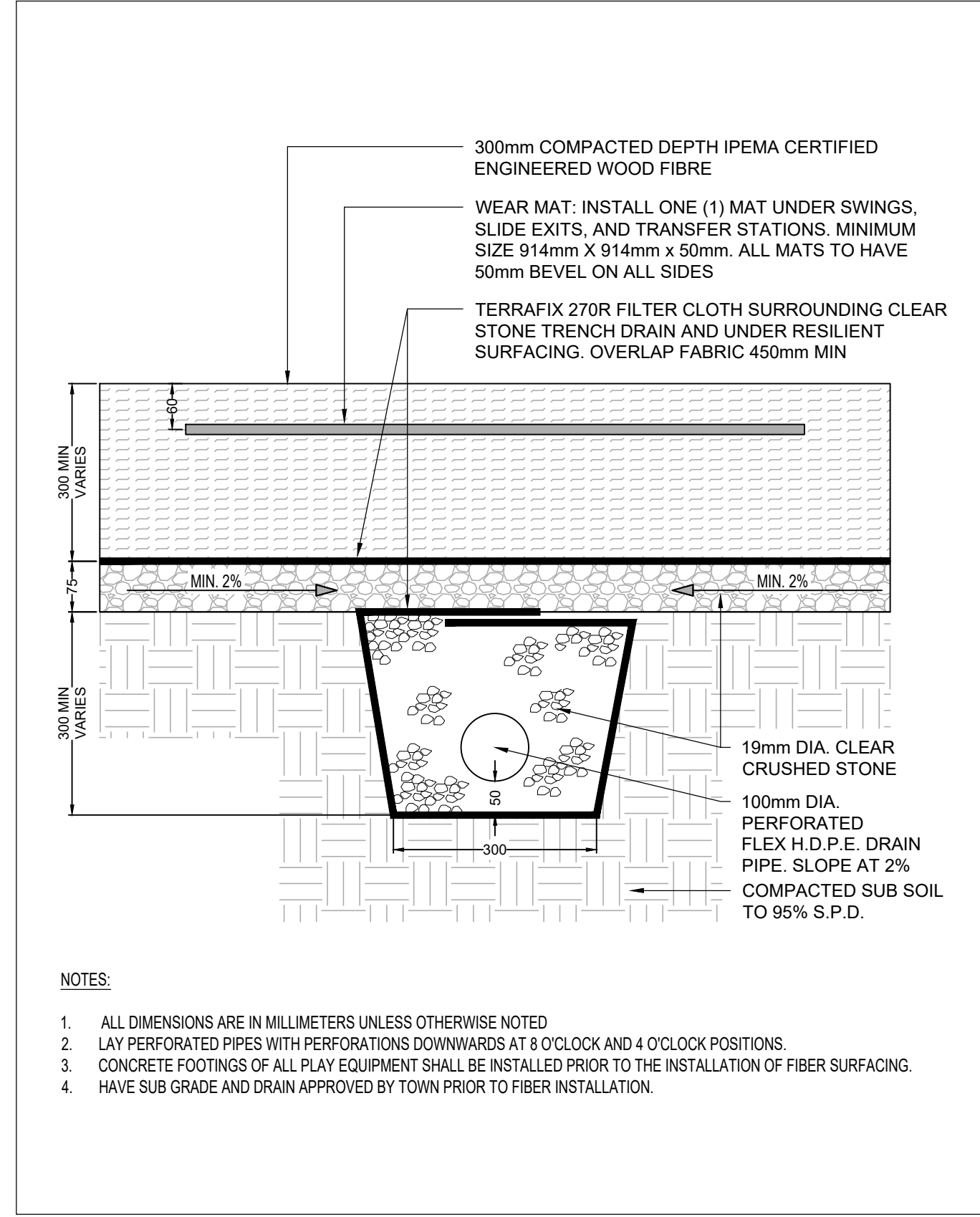
Landowner: **Town of Prescott**

Sheet Title:  
**FENCING DETAILS**

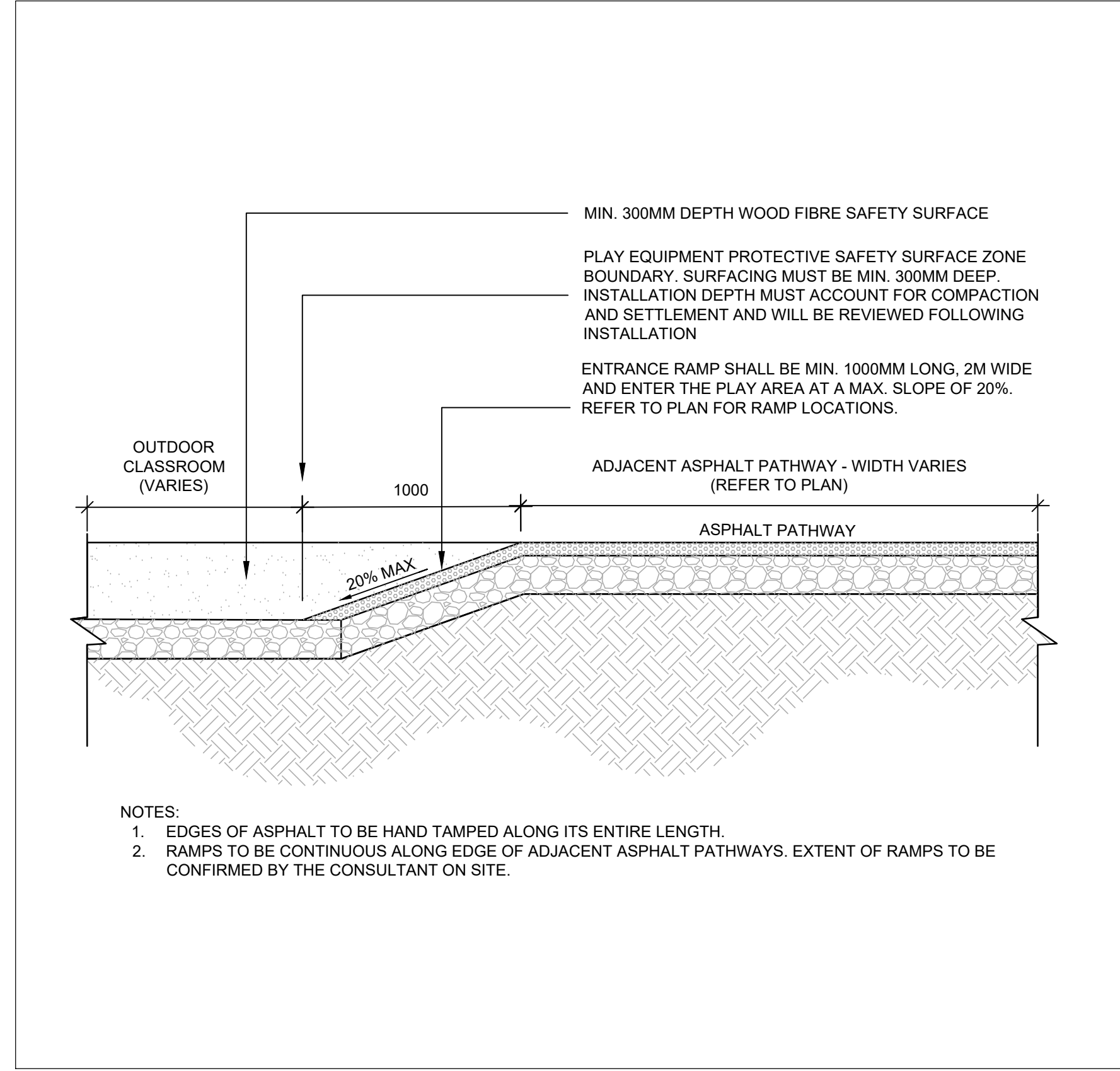
Designed:	Drawn:	Scale:	Drawing No.:
JJ	JJ	~	D-3
Date of Drawing:	Job No.:		
JULY 2024	TOP002		

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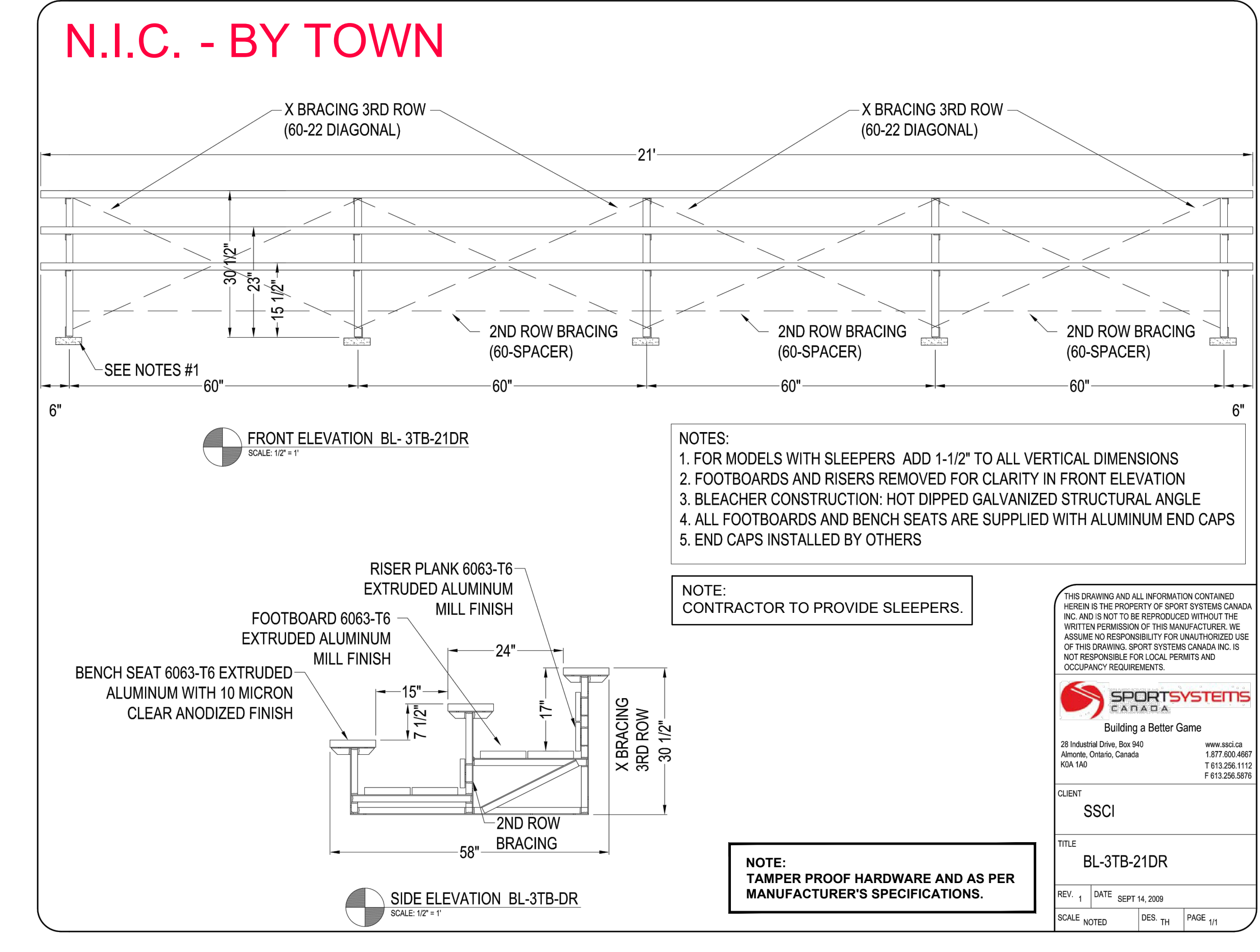




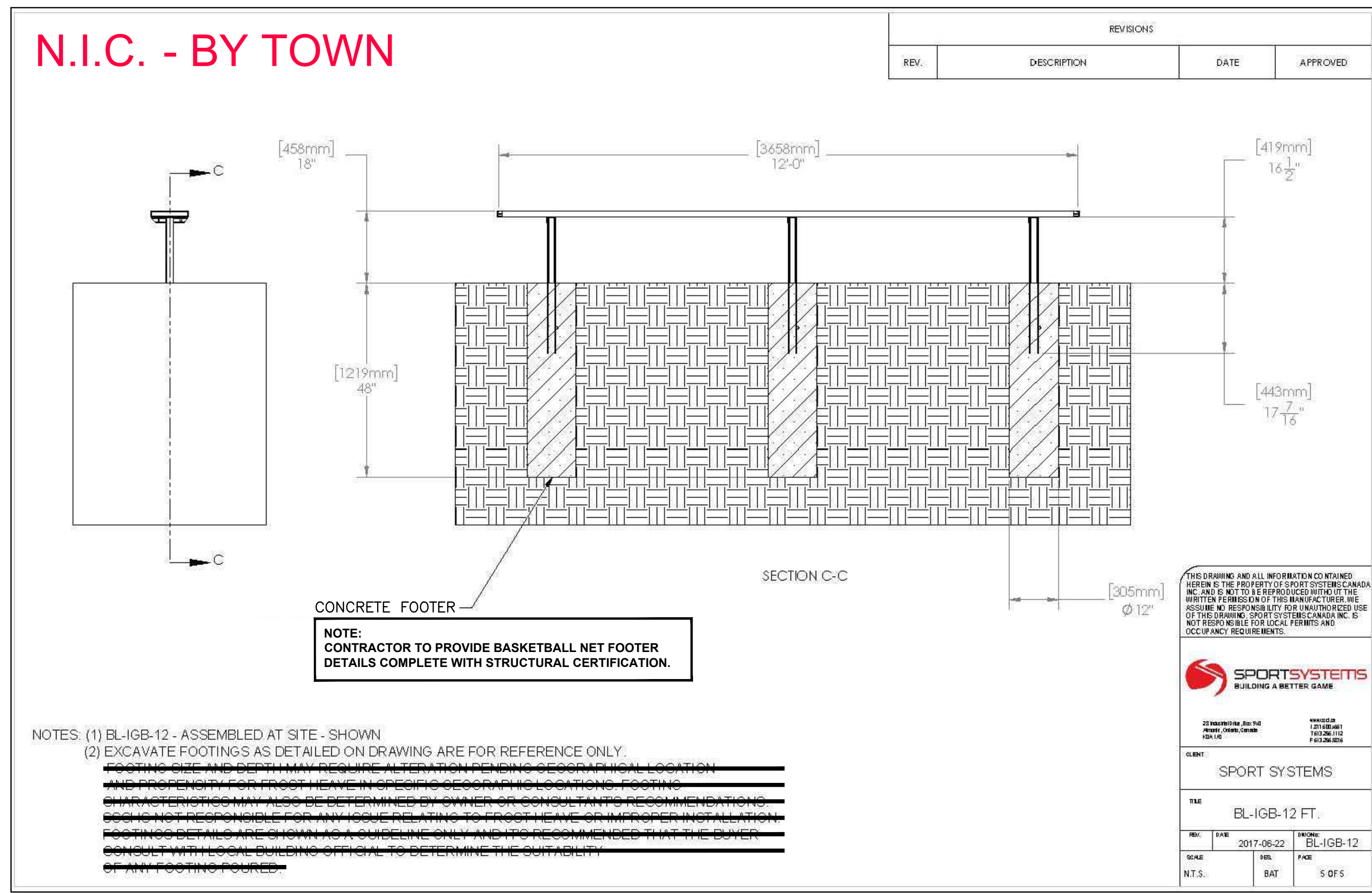
1 PLAYGROUND SUBDRAINAGE AND WOOD FIBRE SAFETY SURFACE N.T.S.



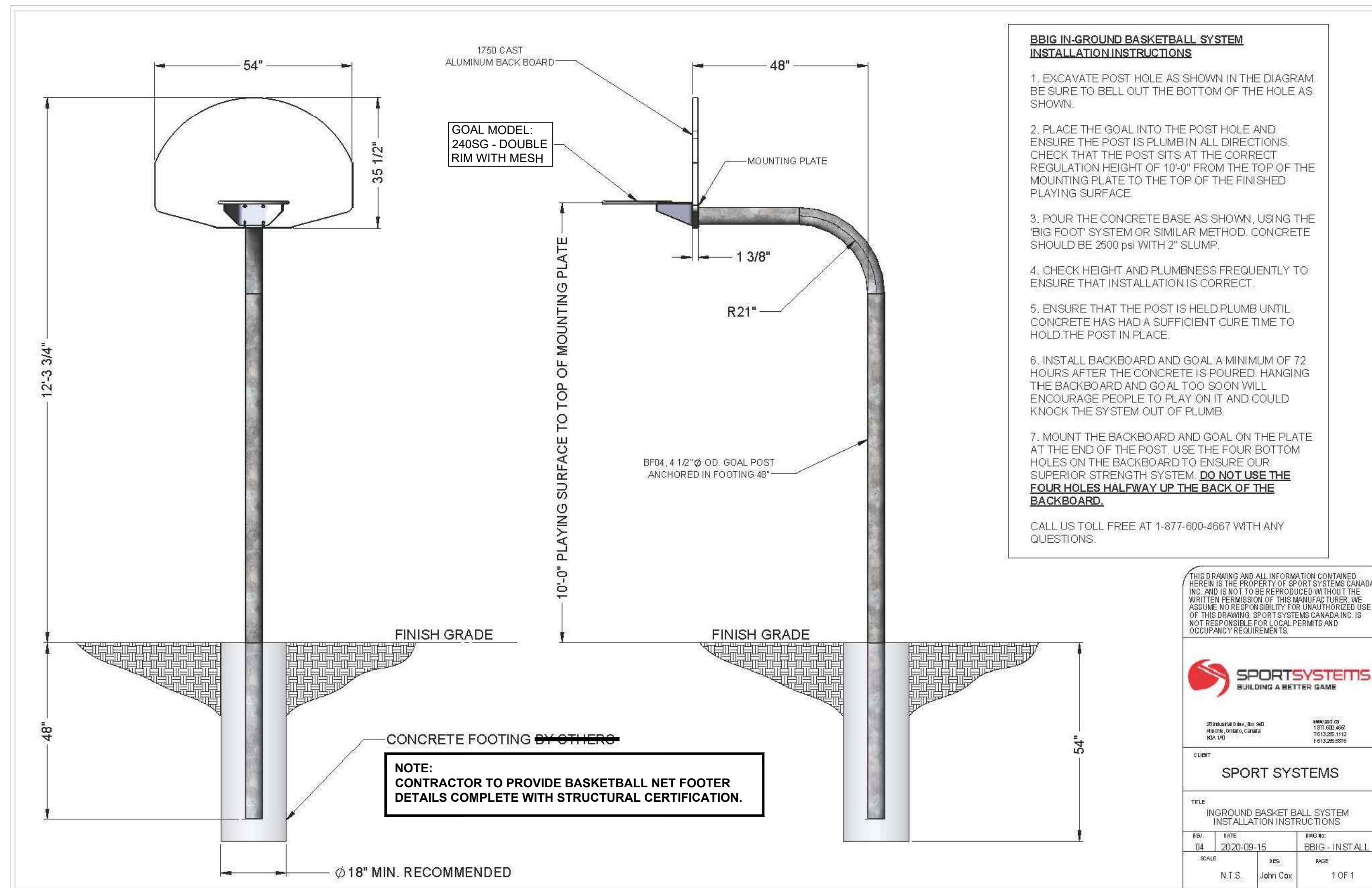
2 ASPHALT RAMP (AT PLAYGROUND EDGE) N.T.S.



3 3-TIER BLEACHER (N.I.C.) BY SPORTS SYSTEMS CANADA (MODEL BL-3TB-21DR) OR APPROVED EQUAL N.T.S.



4 PLAYERS BENCH (N.I.C.) BY SPORTS SYSTEMS CANADA (MODEL BL-IGB-12FT) OR APPROVED EQUAL N.T.S.



5 BASKETBALL NET AS MANUFACTURED BY SPORTS SYSTEMS; MODEL: BBIG (OR APPROVED EQUAL) N.T.S.

Key Plan - N.T.S.



No	Date	Revisions	By
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1.	07.31.2024	Issued for Client Review	JJ

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Designed By: North Arrow

Client: **PRESCOTT THE FORT TOWN** EST 1784

Consultant: **the mbtw group**  
Landscape Architecture | Urban Design | Interior Planning | Exhibition | Gift Shops | Urban Design  
285 Woodbine Ave., Unit 1A | Toronto, Ontario, Canada M4H 1A8  
Tel: (416) 448-7707 | Fax: (416) 448-1023 | www.mbtw-og.com

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Project Name: **PRESCOTT RECREATION COMPLEX**

Landowner: **Town of Prescott**

Sheet Title: **PLAY AREA AND SITE FURNISHING DETAILS**

Designed: JJ	Drawn: JJ	Scale: ~	Drawing No.: D-4
Date of Drawing: JULY 2024	Job No.: TOP002		